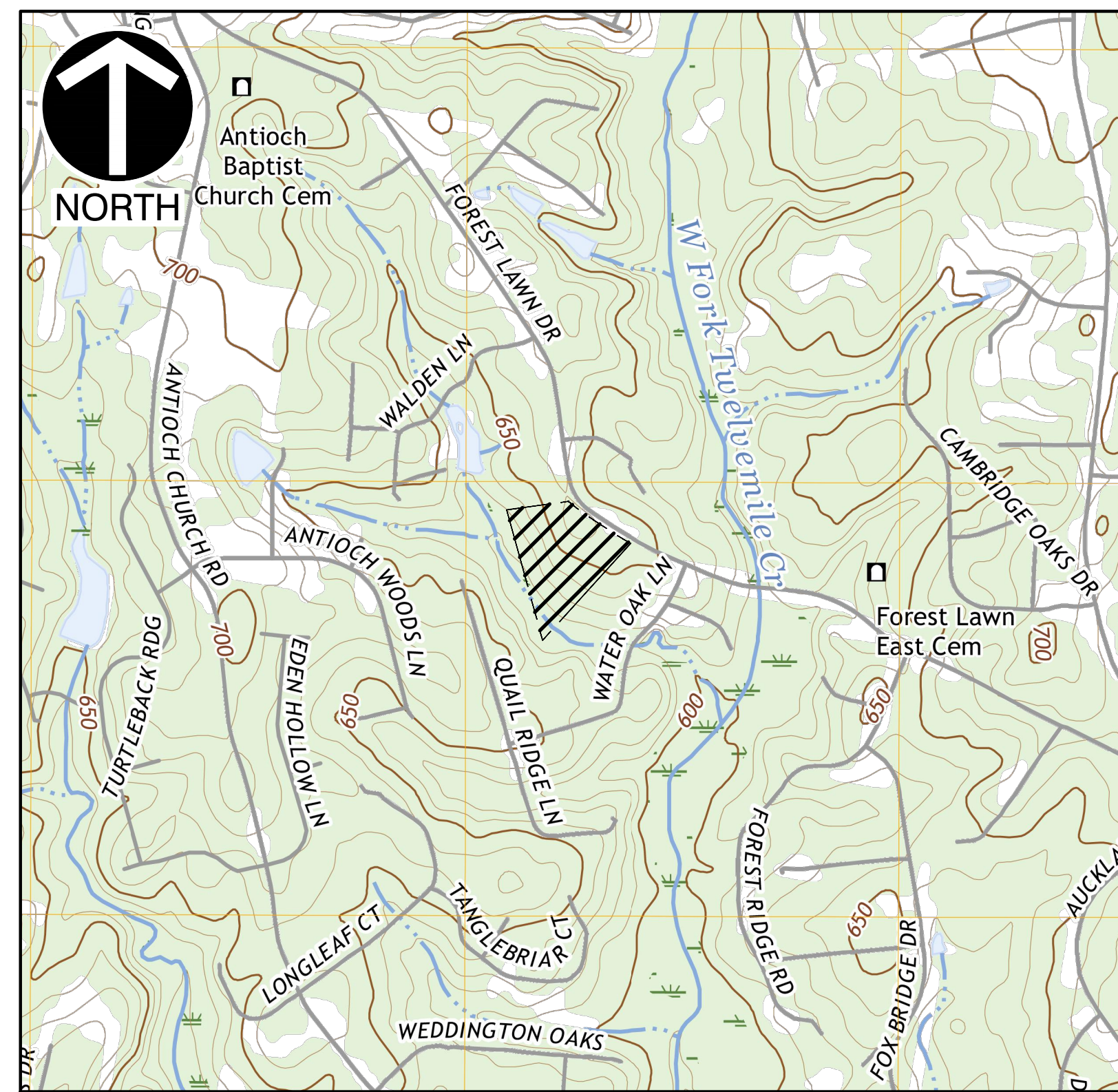
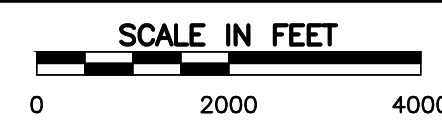


WEDDINGTON GROVE PRELIMINARY PLAT SUBMITTAL CLASSICA HOMES, LLC WEDDINGTON, NC OCTOBER 4, 2024



USGS MAP
U.S.G.S. 7.5 MIN. TOPOGRAPHIC MAP,
HERITAGE AT MARVIN, NC QUADRANGLE, DATED: 2020



OWNER/TEAM INFORMATION

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3701 ARCO CORPORATE DRIVE, SUITE 400
CHARLOTTE, NORTH CAROLINA 28273
PH: (980) 237-0373
FX: (980) 237-0372
CONTACT: MASON GREESON, P.E.
EMAIL: MGREESON@CECINC.COM

DEVELOPER

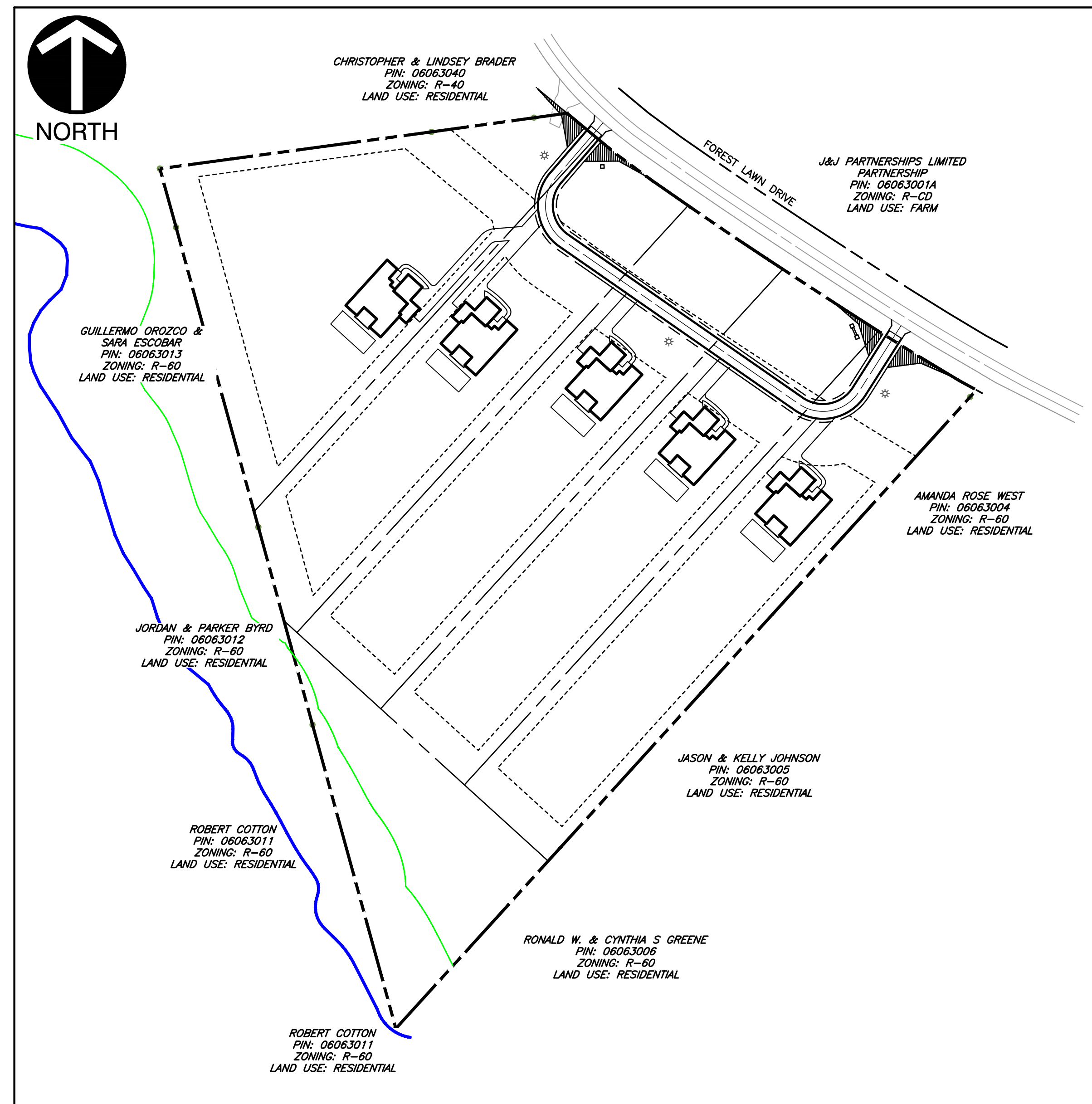
CLASSICA HOMES, LLC
2215 AYRSLEY TOWN BLVD
CHARLOTTE NC 28273
PH: (704) 297-9075
CONTACT: LARRY BURTON
EMAIL: LBURTON@CLASSICAHOMES.COM

LANDSCAPE ARCHITECT

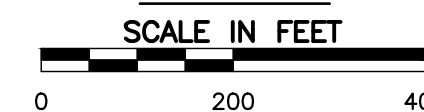
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3701 ARCO CORPORATE DRIVE, SUITE 400
CHARLOTTE, NORTH CAROLINA 28273
PH: (704) 293-5289
CONTACT: MARK KIME, PLA
EMAIL: MKIME@CECINC.COM

SURVEYOR

CAROLINA SURVEYORS, INC
P.O. BOX 267
PINEVILLE, NC 28134-0267
PH: (704) 889-7601
CONTACT: THOMAS WHITE



SITE MAP
SCALE IN FEET



Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
SUV	SURVEY
C100	LAYOUT SHEET
C200	GRADING PLAN
C300	LANDSCAPE PLAN
C400	ARCHITECTURAL STANDARDS
C401	ARCHITECTURAL STANDARDS
C402	ARCHITECTURAL STANDARDS
C403	ARCHITECTURAL STANDARDS
C404	ARCHITECTURAL STANDARDS
C405	ARCHITECTURAL STANDARDS
C500	EXISTING SOIL PLAN
SEPTIC	SEPTIC MAPPING

NO	DATE	DESCRIPTION
1	04/10/2024	SUBMITTAL TO TOWN OF WEDDINGTON

CEC

Civil & Environmental Consultants, Inc.
3701 Arco Corporate Drive - Suite 400 - Charlotte, NC 28273
Ph: 980.237.0373 - Fax: 980.237.0372
www.cecinc.com

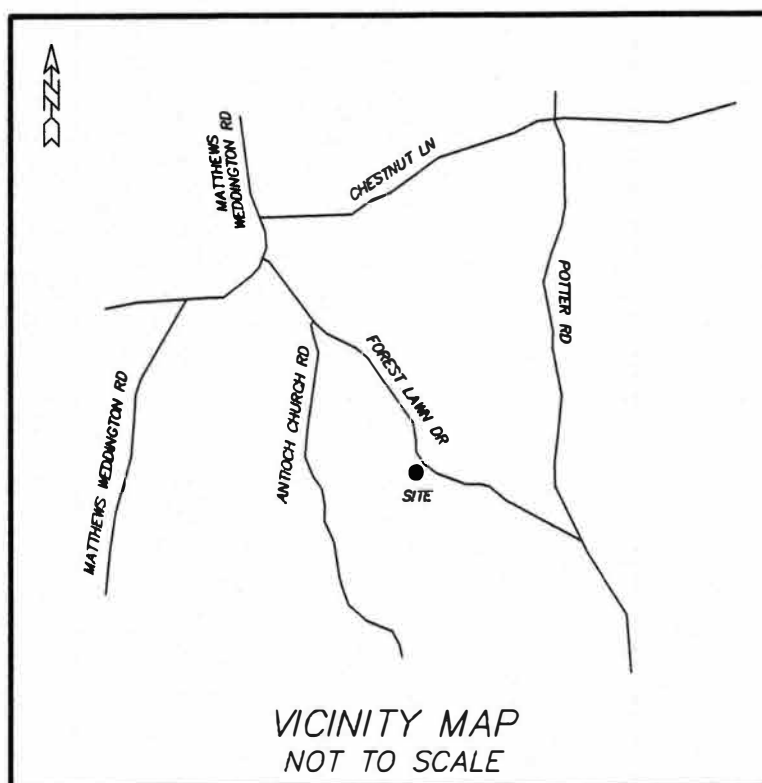
**WEDDINGTON GROVE
CLASSICA HOMES, LLC
SINGLE-FAMILY DEVELOPMENT
WEDDINGTON, NORTH CAROLINA**

COVER SHEET

DATE: OCT 04, 2024 | DRAWN BY: IGC
DWG SCALE: AS SHOWN | CHECKED BY: MEK
PROJECT NO: 336-682
APPROVED BY: MILG

DRAWING NO:
C000

A:\130-001\130-682-0000\Draw\Environment\130682-001-0000-0000.dwg [Civil] LS:10/17/2024 - 10:19:19 AM

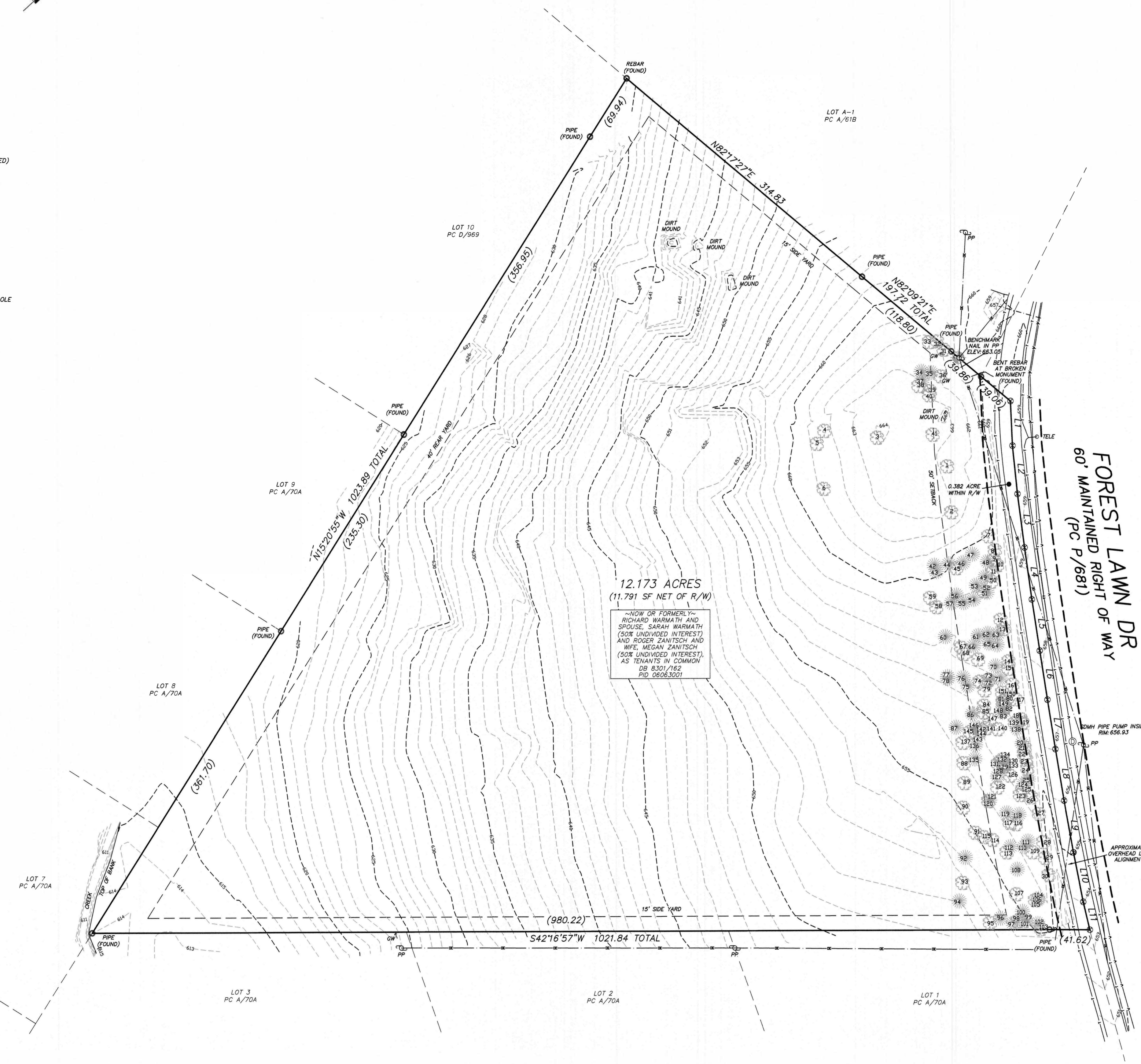


- LEGEND:**
- EIP = EXISTING IRON PIN
 - OP = OLD IRON PIPE
 - SIP = SET IRON PIPE
 - R/W = RIGHT OF WAY
 - AC = AIR CONDITIONING UNIT
 - PWR = POWER PAD
 - PM = POWER METER
 - PP = POWER POLE
 - LP = LIGHT POLE
 - GM = GAS METER
 - TELE = TELEPHONE PEDESTAL
 - CATV = CABLE TELEVISION
 - FOB = FIBER OPTIC BOX
 - TSD = TRAFFIC SIGNAL BOX
 - WM = WATER METER
 - FES = FLARED END SECTION
 - RCP = REINFORCED CONCRETE PIPE
 - CMP = CORRUGATED METAL PIPE
 - CPP = CORRUGATED PLASTIC PIPE
 - PVC = POLYVINYL CHLORIDE PIPE
 - DU = DESTINATION UNKNOWN
 - SDE = STORM DRAINAGE EASEMENT
 - SDMH = STORM DRAIN MANHOLE
 - CB = CATCH BASIN
 - YI = YARD INLET
 - SSE = SANITARY SEWER EASEMENT
 - SSMH = SANITARY SEWER MANHOLE
 - CO = SEWER CLEAN OUT
 - BC = BACK OF CURB
 - (T) = TOTAL DISTANCE
 - P.O.B. = POINT OF BEGINNING
- SYMBOL LEGEND**
- SET MONUMENT (TYPE INDICATED)
 - EXISTING MONUMENT (TYPE INDICATED)
 - CALCULATED POINT
 - ⊕ GAS VALVE
 - ⊕ WATER VALVE
 - ⊕ MAIL BOX
 - ⊕ WATER METER
 - ⊕ WELL
 - ⊕ FIRE HYDRANT
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ TELEPHONE/COMMUNICATIONS MANHOLE
 - ⊕ ELECTRIC MANHOLE
 - ⊕ DECIDUOUS TREE
 - ⊕ EVERGREEN TREE
 - ⊕ LIGHT POLE
 - ⊕ POWER/UTILITY POLE
 - ⊕ BACK FLOW PREVENTOR
 - ⊕ GUY WIRE
 - ⊕ CATCH BASIN
 - ⊕ DROP INLET
 - ⊕ YARD INLET

- LINE TYPE LEGEND**
- BOUNDARY LINE
 - - - TIE LINE
 - - - RIGHT OF WAY
 - - - APPROXIMATE RIGHT OF WAY (NOT SURVEYED)
 - - - ADJOINING LINE (NOT SURVEYED)
 - x - x - FENCE
 - - - STORM DRAIN PIPE
 - - - OVERHEAD ELECTRIC
 - - - SANITARY SEWER PIPE
 - - - UNDERGROUND ELECTRIC
 - - - UNDERGROUND GAS
 - - - UNDERGROUND TELECOMMUNICATIONS
 - - - UNDERGROUND WATER
 - - - UNDERGROUND UTILITY (TYPE UNKNOWN)

- NOTES:**
- IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - PROPERTY ZONED: R-CD
MINIMUM SETBACK 50'
MINIMUM SIDE YARD 15'
MINIMUM REAR YARD 40'
(SETBACKS & ZONING MATTERS ARE SUBJECT TO INTERPRETATION BY LOCAL MUNICIPALITIES)
 - TAX PARCEL NUMBER 06063001.
 - DEED REFERENCE: DB 8301 PG 162.
 - BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN.
 - THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3704487004, WITH A DATE OF IDENTIFICATION OF 10/16/2008.
 - THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, SETBACKS AND BUFFERS INCLUDING THOSE WITHIN THE APPLICABLE UNIFIED DEVELOPMENT ORDINANCE (UDO), RIGHTS-OF-WAY, IMPERVIOUS AREAS & BUILT UPON AREA (BUA), RESTRICTIONS, AND/OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN, SURVEY MADE WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
 - AREA COMPUTED BY COORDINATE METHOD.
 - NO NGCS MONUMENT FOUND WITHIN 2000'.
 - UTILITY LOCATIONS SHOWN ARE LOCATED BASED ON SITE CONDITIONS AND MARKINGS AT THE TIME OF SURVEY. CONTRACTORS ARE TO HAVE ALL UTILITIES ACCURATELY MARKED PRIOR TO CONSTRUCTION.
 - ANY CONSTRUCTION OR USE WITHIN ANY DELINEATED FLOOD AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY ANY APPLICABLE ORDINANCES OR REGULATIONS.
 - OFFSITE ADJOINING LINES AND RIGHT-OF-WAY LINES SHOWN AS DASHED ARE APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSES ONLY.
 - LINES SHOWN REPRESENTING FENCES AND WALLS ARE MEASURED FROM THE APPROXIMATE CENTERLINE AND DO NOT ACCOUNT FOR THE THICKNESS, SLURRING OR MEANDER OF THE FENCE UNLESS OTHERWISE STATED.
 - DISTANCES SHOWN ARE GROUND U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

LINE	BEARING	LENGTH
1.1	S89°14'49"W	43.98
1.2	S53°18'24"E	48.30
1.3	S55°17'54"E	54.88
1.4	S58°18'09"E	53.02
1.5	S56°28'56"E	52.71
1.6	S56°44'30"E	50.41
1.7	S56°37'08"E	50.34
1.8	S57°19'01"E	53.08
1.9	S58°17'07"E	53.13
1.10	S59°02'22"E	50.88
1.11	S61°16'48"E	28.08



21 NCAC 56-1604: MAP CERTIFICATION

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (TITLE REFERENCES AS SHOWN ON PLATS) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM TITLE REFERENCES AS SHOWN ON PLAT. THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY MEETS OR EXCEEDS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56-1600).

THIS 25 DAY OF MARCH 2024

[Signature]
PROFESSIONAL LAND SURVEYOR

#	SPECIES/DB	#	SPECIES/DB
1	OAK 10"	77	PINE 10"
2	OAK 5"	78	PINE 5"
3	OAK 30"	79	OAK 3"
4	OAK 30"	80	OAK 3"
5	OAK 30"	81	OAK 3"
6	OAK 30"	82	OAK 3"
7	OAK 8"	83	OAK 8"
8	OAK 8"	84	OAK 8"
9	OAK 8"	85	OAK 8"
10	BEECH 4"	86	OAK 8"
11	BEECH 2"	87	PINE 5"
12	OAK 7"	88	OAK 7"
13	OAK 5"	89	OAK 5"
14	OAK 5"	90	OAK 5"
15	OAK 4"-10"	91	OAK 4"
16	OAK 4"	92	PINE 5"
17	OAK 7"-3"	93	OAK 7"
18	OAK 3"	94	PINE 5"
19	OAK 3"	95	OAK 3"
20	PINE 10"-12"	96	OAK 3"
21	OAK 3"	97	PINE 5"
22	OAK 5"	98	PINE 5"
23	OAK 4"	99	OAK 4"
24	OAK 8"	100	OAK 4"
25	PINE 6"	101	PINE 12"
26	OAK 4"	102	OAK 3"
27	OAK 4"	103	PINE 12"
28	OAK 4"	104	OAK 3"
29	OAK 5"	105	OAK 5"
30	OAK 30"	106	PINE 10"
31	OAK 30"	107	PINE 10"
32	OAK 3"	108	OAK 3"
33	OAK 5"	109	OAK 3"
34	PINE 14"	110	OAK 8"-12"
35	PINE 12"	111	PINE 10"
36	OAK 10"	112	PINE 10"
37	PINE 10"	113	OAK 3"
38	OAK 5"	114	OAK 3"
39	OAK 4"-5"	115	OAK 8"
40	OAK 8"	116	OAK 8"-8"
41	OAK 20"	117	OAK 8"
42	PINE 8"	118	OAK 8"
43	PINE 8"	119	PINE 10"
44	PINE 8"	120	PINE 10"
45	OAK 8"	121	PINE 10"
46	PINE 12"	122	OAK 8"
47	PINE 10"	123	OAK 3"
48	PINE 14"	124	OAK 3"
49	PINE 7"	125	PINE 4"-3"
50	OAK 18"-8"	126	OAK 3"
51	PINE 10"	127	OAK 3"
52	OAK 3"	128	PINE 10"
53	OAK 3"	129	OAK 3"
54	PINE 14"	130	OAK 4"
55	PINE 12"-8"	131	OAK 4"
56	PINE 12"-8"	132	OAK 10"-12"
57	PINE 8"	133	OAK 8"
58	OAK 8"	134	PINE 8"
59	OAK 8"	135	OAK 3"
60	PINE 8"-8"	136	PINE 4"
61	PINE 10"	137	PINE 4"
62	PINE 4"	138	OAK 4"
63	PINE 12"	139	PINE 3"
64	PINE 10" & OAK 6"	140	OAK 3"
65	PINE 8"	141	OAK 3"
66	PINE 10"	142	OAK 5"
67	OAK 4"	143	PINE 8"
68	OAK 5"	144	OAK 4"
69	OAK 3" & PINE 8"	145	OAK 4"
70	PINE 8"	146	OAK 3"
71	PINE 8"	147	PINE 8"
72	PINE 6"	148	OAK 3"
73	OAK 4"	149	PINE 3"
74	OAK 6"	150	OAK 8"-5"-10"
75	PINE 8"	151	OAK 10"

UNDERGROUND UTILITIES MARKED BY:
PROBE UTILITY LOCATING
P.O. BOX 135
HUNTERSVILLE, NC 28070
(704) 594-1346
INFO@PROBEUTILITY.COM

- THE FOLLOWING WAS USED TO ESTABLISH N.C.S.P.C. INFORMATION:
- CLASS OF SURVEY: 4--URBAN LAND SURVEY
 - POSITIONAL ACCURACY: 0.2
 - TYPE OF GPS FIELD PROCEDURE: STATIC, ONLINE POSITION USER SERVICE
 - DATES OF SURVEY: 3/11/2024
 - DATUM/EPOCH: NAD 83 (2011), EPOCH 2010
 - PUBLISHED/FIXED-CONTROL USE: CORS SITES D05755, DM3995, AH6714
 - DEOD MODEL: GEOD10; MAG 88
 - COMBINED GRID FACTORS: 0.99985231
 - UNITS: U.S. SURVEY FEET

REVISIONS:	DATE
SCALE: 1" = 60'	
PROJECT: 24-0031	
DRAWN BY: RD	
FIELD WORK: SH, SK	
DATE: 3/25/2024	
DWG: 2024(CS)Forest Lawn Dr. #3308	
COCOD: 2024(F)Forest Lawn Dr. #3308	

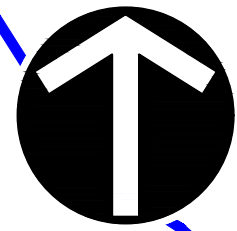


CAROLINA SURVEYORS, INC.
P.O. BOX 267 PINEVILLE, N.C. 28134 - 0267
THOMAS E. WHITE, N.C.P.L.S. & S.C.P.L.S. 704-889-7601
FERNANDEZ LAMAS, N.C.P.L.S. & S.C.P.L.S. 704-889-7601
CERTIFICATE OF AUTHORIZATION N.C.C-1242 SC.1886

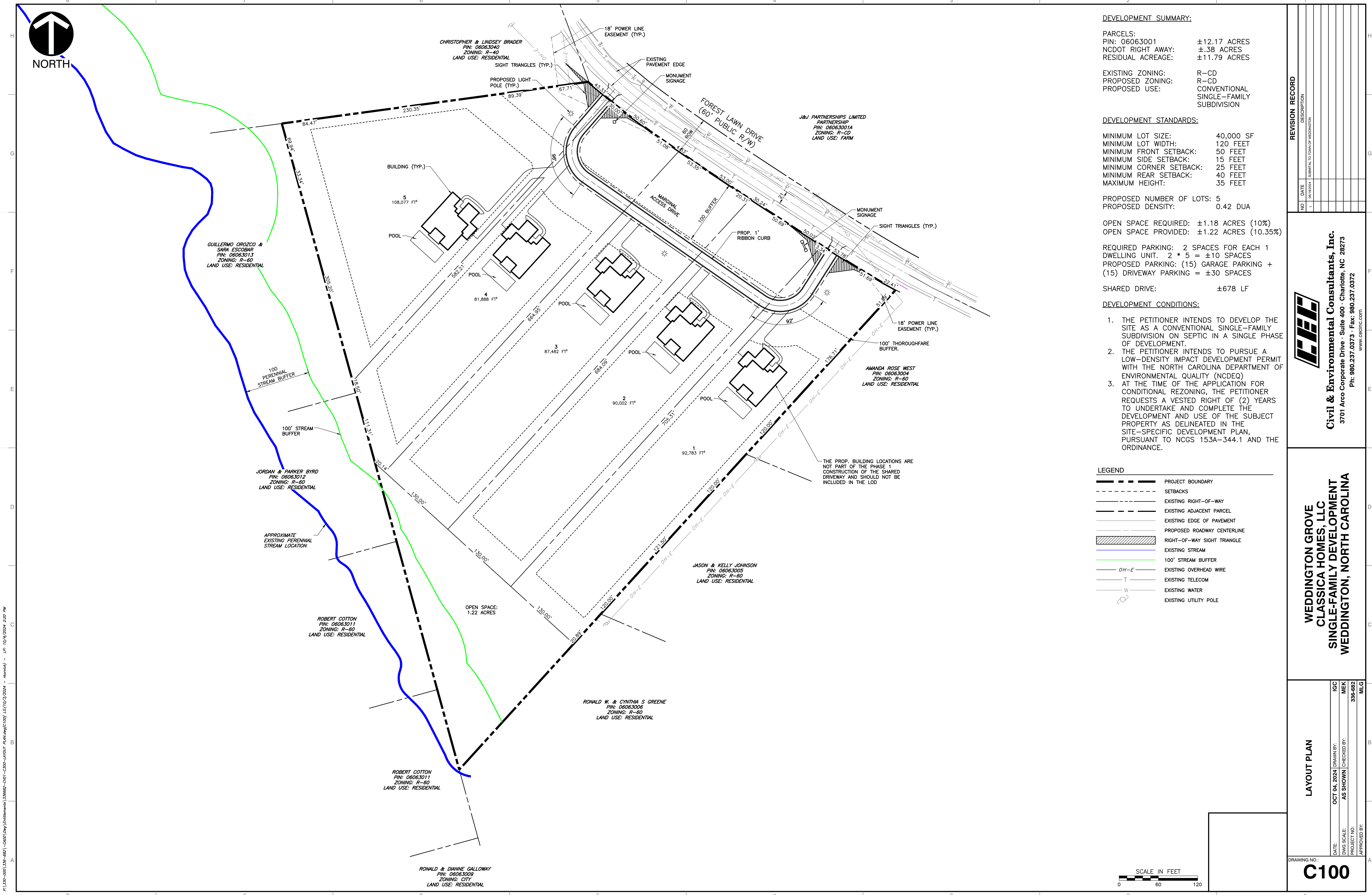
A TOPOGRAPHICAL SURVEY SHOWING

#3308 FOREST LAWN DRIVE
(NEAR THE INTERSECTION OF FOREST LAWN DR. & WATER OAK LN)

SURVEYED FOR: CLASSICA HOMES
TOTAL AREA: 12.173 ACRES
TOWN OF HEDDINGTON, UNION COUNTY, NORTH CAROLINA



NORTH



DEVELOPMENT SUMMARY:

PARCELS:
 PIN: 06063001 ±12.17 ACRES
 NCDOT RIGHT AWAY: ±38 ACRES
 RESIDUAL ACREAGE: ±11.79 ACRES

EXISTING ZONING: R-CD
 PROPOSED ZONING: R-CD
 PROPOSED USE: CONVENTIONAL SINGLE-FAMILY SUBDIVISION

DEVELOPMENT STANDARDS:

MINIMUM LOT SIZE: 40,000 SF
 MINIMUM LOT WIDTH: 120 FEET
 MINIMUM FRONT SETBACK: 50 FEET
 MINIMUM SIDE SETBACK: 15 FEET
 MINIMUM CORNER SETBACK: 25 FEET
 MINIMUM REAR SETBACK: 40 FEET
 MAXIMUM HEIGHT: 35 FEET

PROPOSED NUMBER OF LOTS: 5
 PROPOSED DENSITY: 0.42 DUA

OPEN SPACE REQUIRED: ±1.18 ACRES (10%)
 OPEN SPACE PROVIDED: ±1.22 ACRES (10.35%)

REQUIRED PARKING: 2 SPACES FOR EACH 1 DWELLING UNIT. 2 * 5 = ±10 SPACES
 PROPOSED PARKING: (15) GARAGE PARKING + (15) DRIVEWAY PARKING = ±30 SPACES

SHARED DRIVE: ±678 LF

DEVELOPMENT CONDITIONS:

1. THE PETITIONER INTENDS TO DEVELOP THE SITE AS A CONVENTIONAL SINGLE-FAMILY SUBDIVISION ON SEPTIC IN A SINGLE PHASE OF DEVELOPMENT.
2. THE PETITIONER INTENDS TO PURSUE A LOW-DENSITY IMPACT DEVELOPMENT PERMIT WITH THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEQ)
3. AT THE TIME OF THE APPLICATION FOR CONDITIONAL REZONING, THE PETITIONER REQUESTS A VESTED RIGHT OF (2) YEARS TO UNDERTAKE AND COMPLETE THE DEVELOPMENT AND USE OF THE SUBJECT PROPERTY AS DELINEATED IN THE SITE-SPECIFIC DEVELOPMENT PLAN, PURSUANT TO NCCS 153A-344.1 AND THE ORDINANCE.

LEGEND

	PROJECT BOUNDARY
	SETBACKS
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PARCEL
	EXISTING EDGE OF PAVEMENT
	PROPOSED ROADWAY CENTERLINE
	RIGHT-OF-WAY SIGHT TRIANGLE
	EXISTING STREAM
	100' STREAM BUFFER
	EXISTING OVERHEAD WIRE
	EXISTING TELECOM
	EXISTING WATER
	EXISTING UTILITY POLE

REVISION RECORD

NO.	DATE	DESCRIPTION
1	09/19/2024	SUBMITTAL TO TOWN OF WEDDINGTON

Civil & Environmental Consultants, Inc.
 3701 Arco Corporate Drive - Suite 400 - Charlotte, NC 28273
 Ph: 980.237.0373 - Fax: 980.237.0372
 www.cecincc.com

**WEDDINGTON GROVE
 CLASSICA HOMES, LLC
 SINGLE-FAMILY DEVELOPMENT
 WEDDINGTON, NORTH CAROLINA**

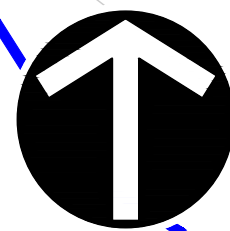
LAYOUT PLAN

DATE: OCT 04, 2024	DRAWN BY: IGC
DWG SCALE: AS SHOWN	CHECKED BY: MEK
PROJECT NO: 396-682	MILG
APPROVED BY:	

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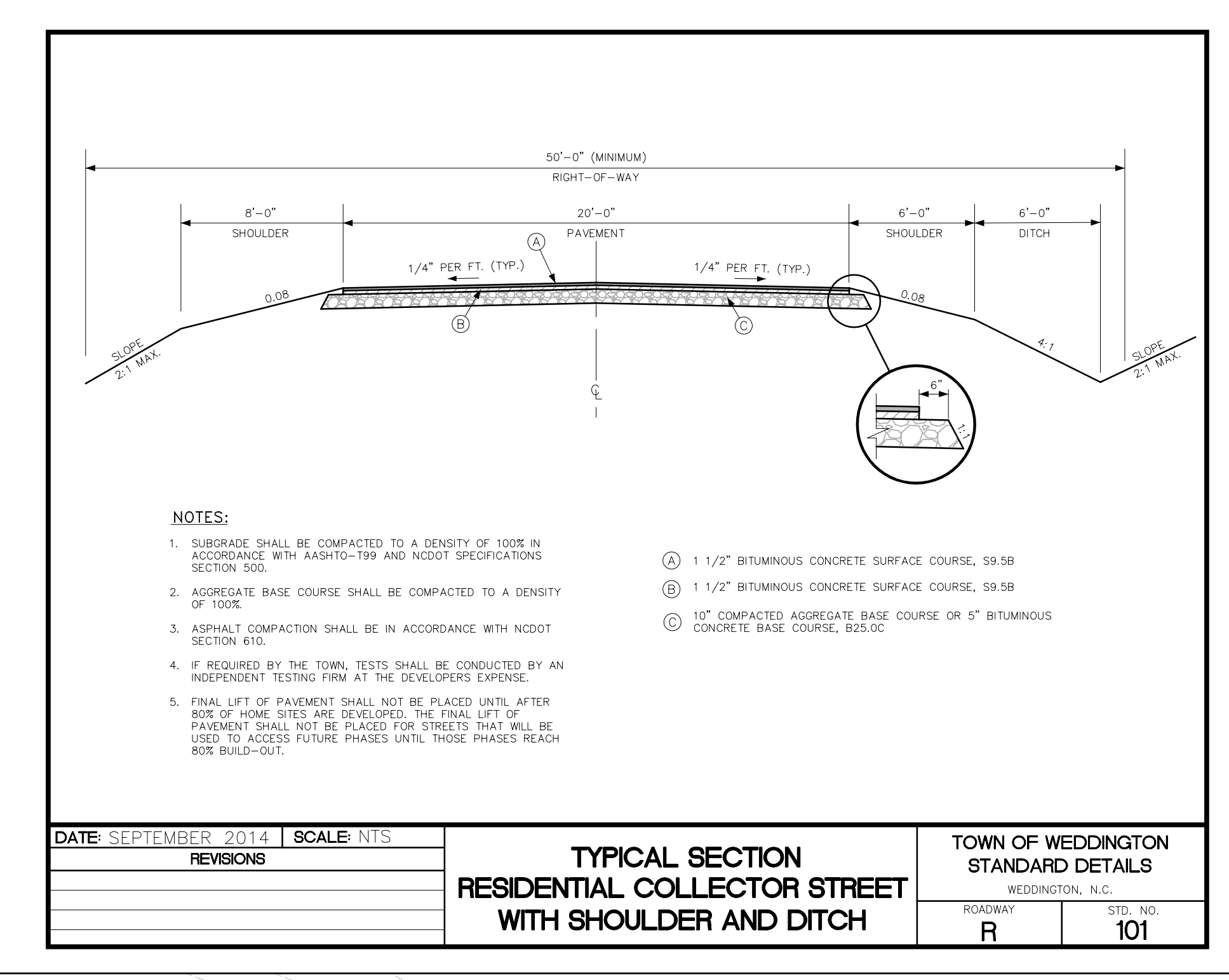
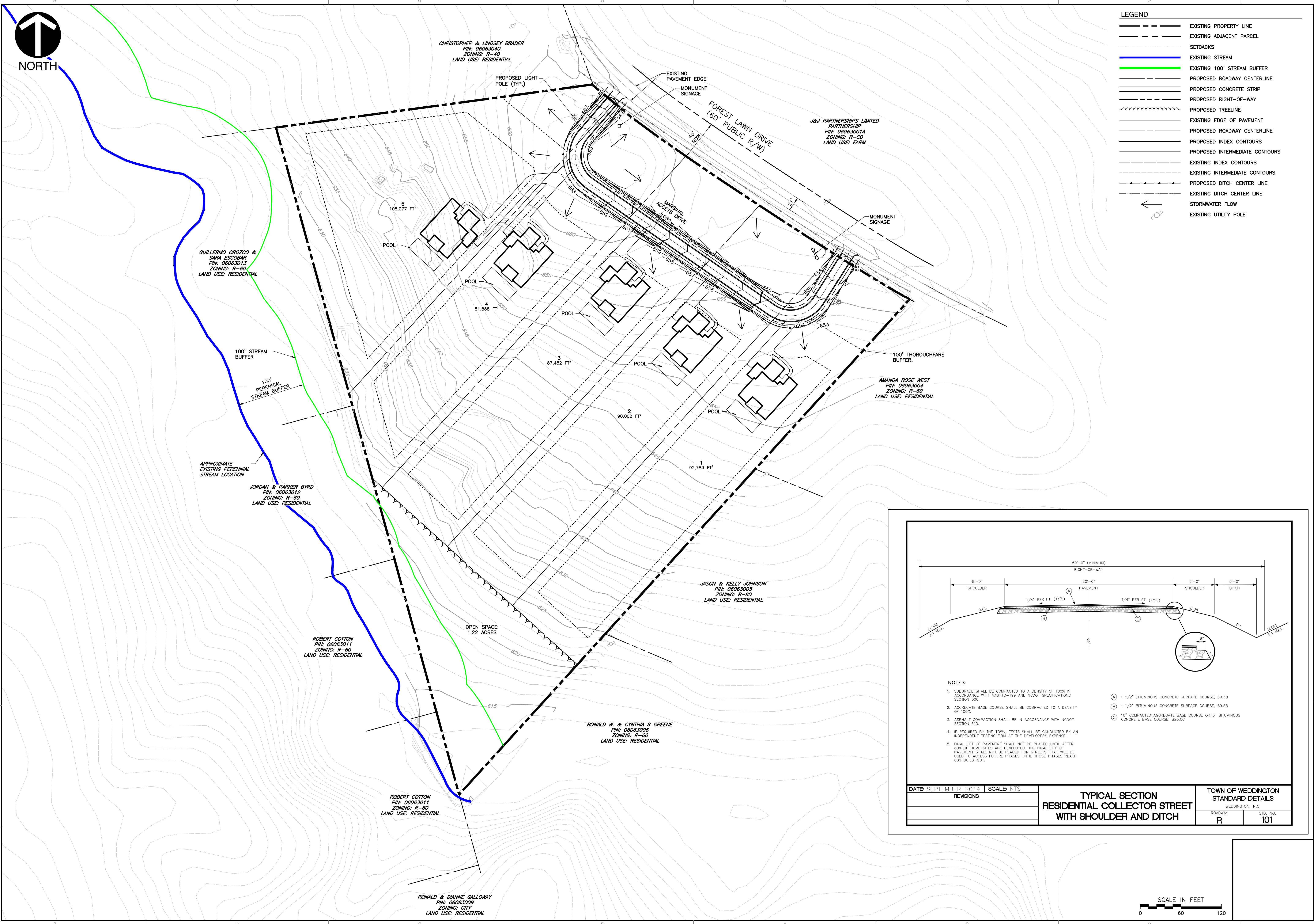
SCALE IN FEET
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DRAWING NO:
C100



NORTH

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PARCEL
	SETBACKS
	EXISTING STREAM
	EXISTING 100' STREAM BUFFER
	PROPOSED ROADWAY CENTERLINE
	PROPOSED CONCRETE STRIP
	PROPOSED RIGHT-OF-WAY
	PROPOSED TREELINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED ROADWAY CENTERLINE
	PROPOSED INDEX CONTOURS
	EXISTING INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED DITCH CENTER LINE
	EXISTING DITCH CENTER LINE
	STORMWATER FLOW
	EXISTING UTILITY POLE



REVISION RECORD		
NO.	DATE	DESCRIPTION
1	04/18/2024	SUBMITTAL TO TOWN OF WEDDINGTON

CEC

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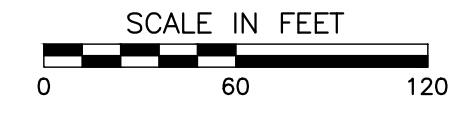
**WEDDINGTON GROVE
 CLASSICA HOMES, LLC
 SINGLE-FAMILY DEVELOPMENT
 WEDDINGTON, NORTH CAROLINA**

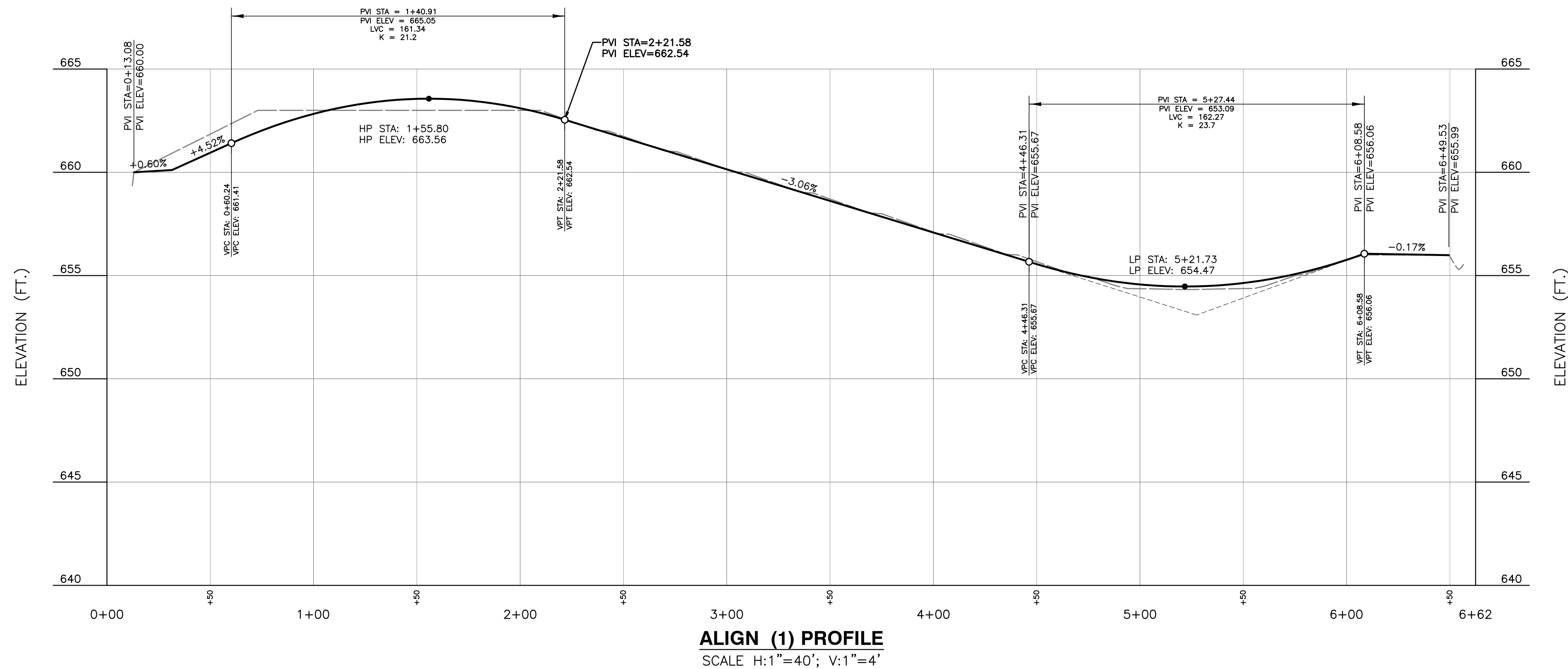
GRADING PLAN

DATE: OCT 04, 2024 | DRAWN BY: IGC
 DWG SCALE: AS SHOWN | CHECKED BY: MEK
 PROJECT NO: 336-682
 APPROVED BY: MLG

DRAWING NO. **C200**

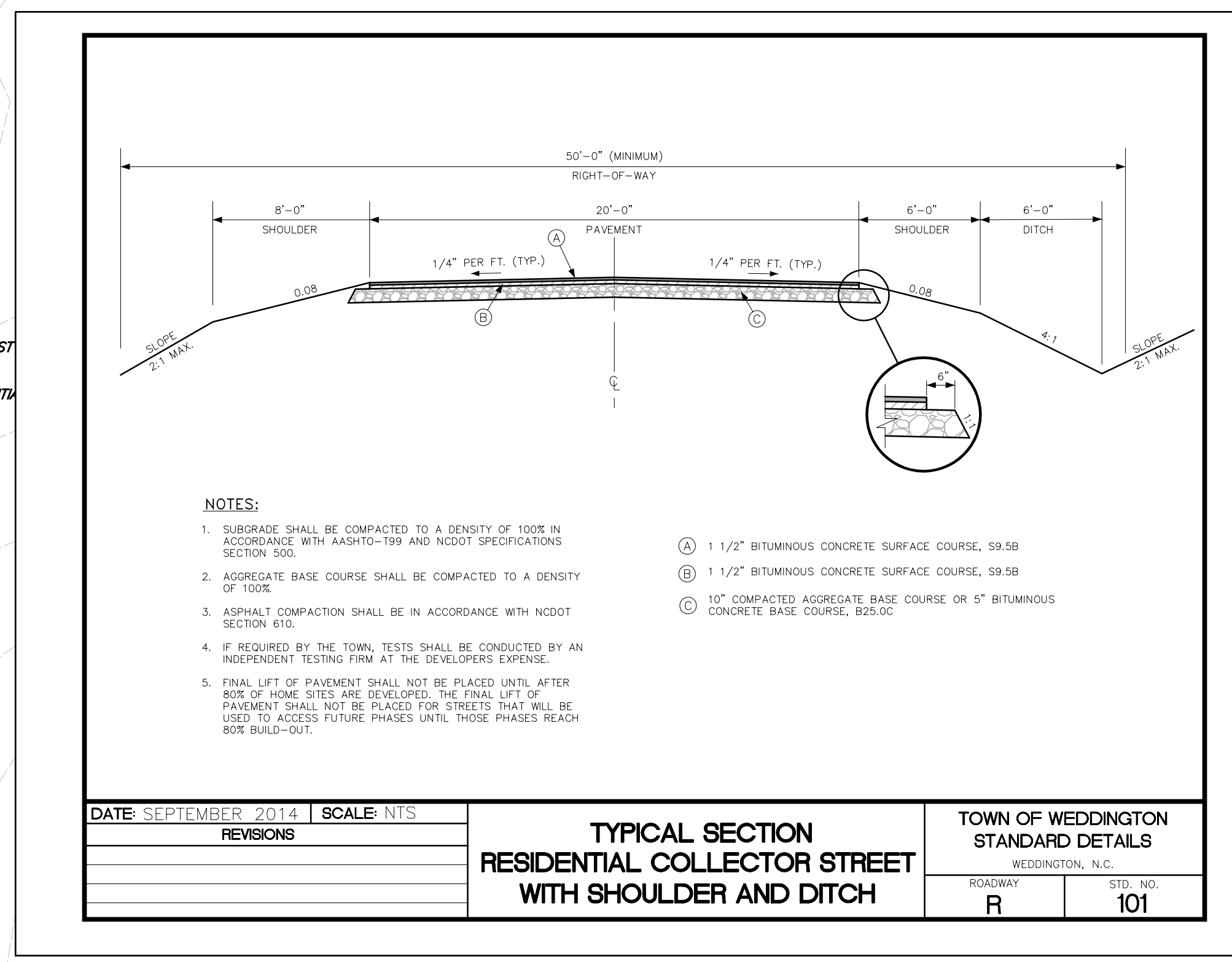
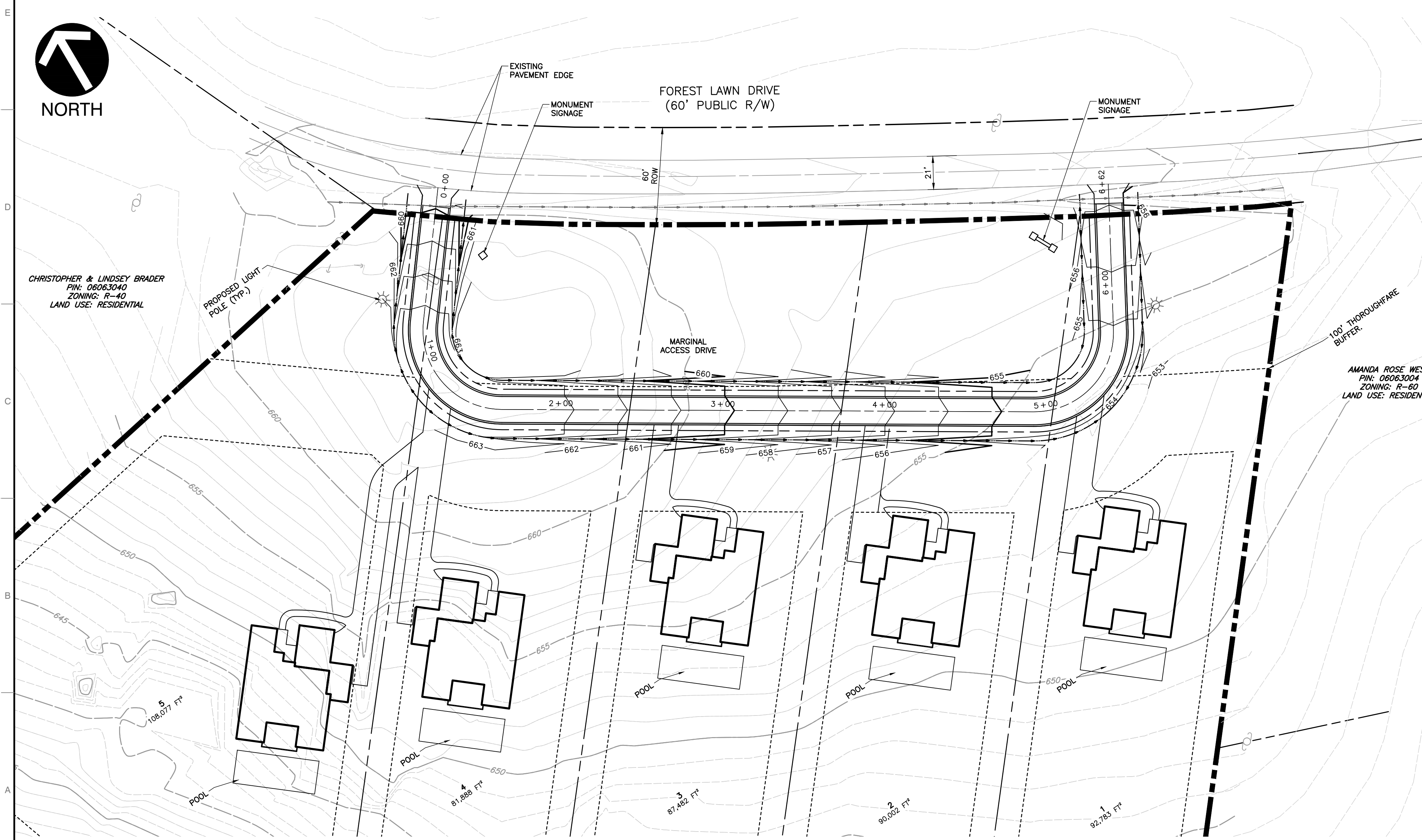
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PARCEL
- SETBACKS
- EXISTING STREAM
- EXISTING 100' STREAM BUFFER
- PROPOSED ROADWAY CENTERLINE
- PROPOSED CONCRETE STRIP
- PROPOSED RIGHT-OF-WAY
- PROPOSED TREELINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED ROADWAY CENTERLINE
- PROPOSED INDEX CONTOURS
- PROPOSED INTERMEDIATE CONTOURS
- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- PROPOSED DITCH CENTER LINE
- EXISTING DITCH CENTER LINE
- STORMWATER FLOW
- EXISTING UTILITY POLE



REVISION RECORD

NO.	DATE	DESCRIPTION
1	09/10/2014	SUBMITTAL TO TOWN OF WEDDINGTON

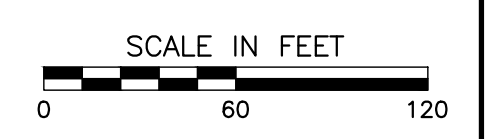
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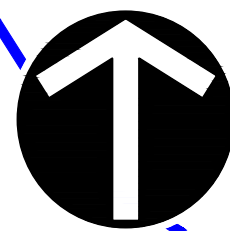
ALIGNMENT PLAN

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:	396-682	APPROVED BY:	MLG

DRAWING NO. **C201**



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NORTH

BUFFER REQUIREMENTS:

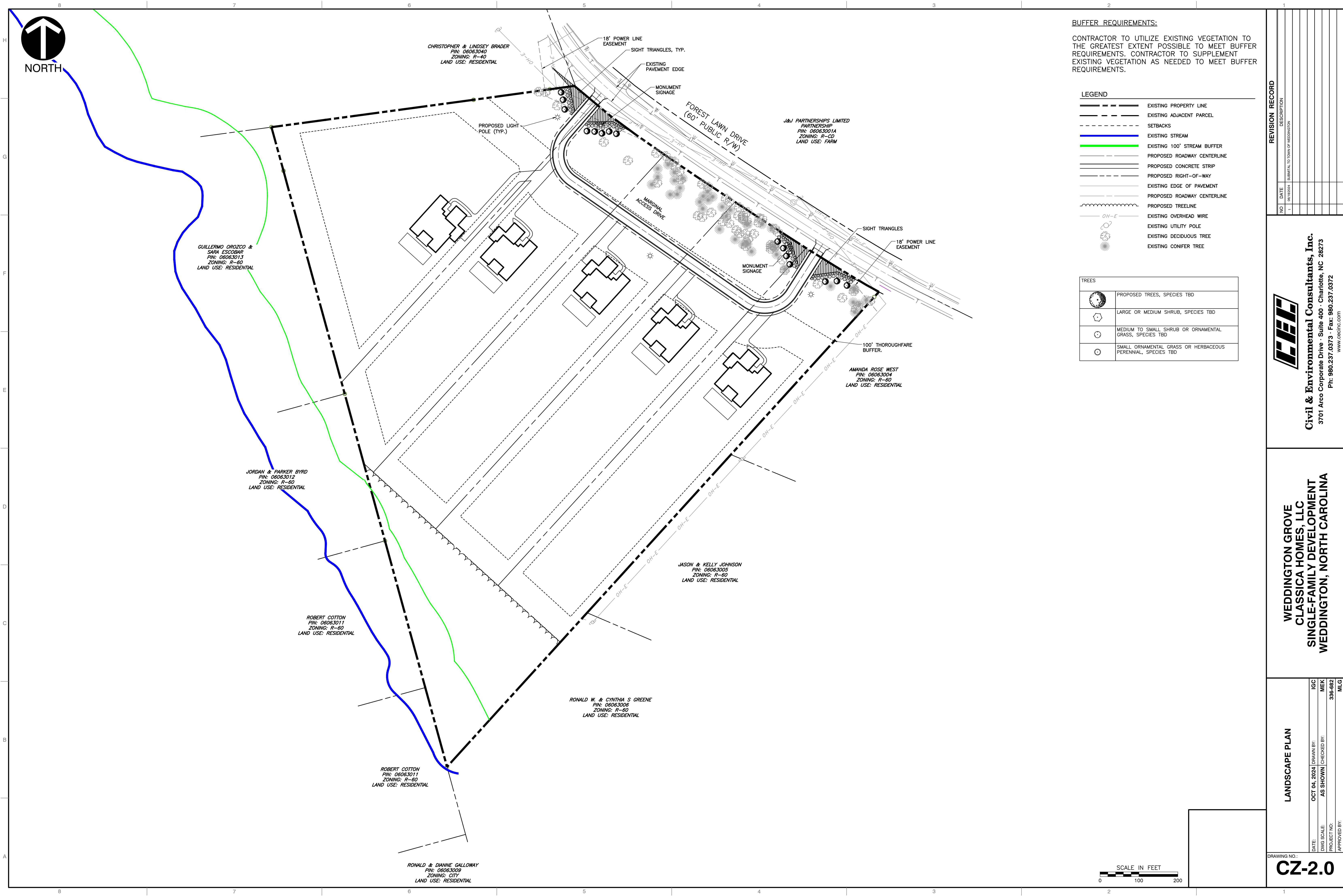
CONTRACTOR TO UTILIZE EXISTING VEGETATION TO THE GREATEST EXTENT POSSIBLE TO MEET BUFFER REQUIREMENTS. CONTRACTOR TO SUPPLEMENT EXISTING VEGETATION AS NEEDED TO MEET BUFFER REQUIREMENTS.

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING ADJACENT PARCEL
- - - SETBACKS
- EXISTING STREAM
- EXISTING 100' STREAM BUFFER
- PROPOSED ROADWAY CENTERLINE
- PROPOSED CONCRETE STRIP
- PROPOSED RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- PROPOSED ROADWAY CENTERLINE
- PROPOSED TREETLINE
- OH-E EXISTING OVERHEAD WIRE
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE

TREES

	PROPOSED TREES, SPECIES TBD
	LARGE OR MEDIUM SHRUB, SPECIES TBD
	MEDIUM TO SMALL SHRUB OR ORNAMENTAL GRASS, SPECIES TBD
	SMALL ORNAMENTAL GRASS OR HERBACEOUS PERENNIAL, SPECIES TBD



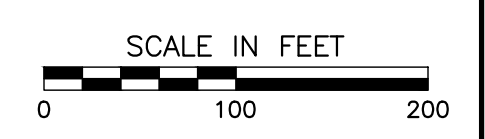
NO.	DATE	DESCRIPTION
1	04/10/2024	SUBMITTAL TO TOWN OF WEDDINGTON

C&E
Civil & Environmental Consultants, Inc.
3701 Arco Corporate Drive - Suite 400 - Charlotte, NC 28273
Ph: 980.237.0373 - Fax: 980.237.0372
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WEDDINGTON GROVE
CLASSICA HOMES, LLC
SINGLE-FAMILY DEVELOPMENT
WEDDINGTON, NORTH CAROLINA

LANDSCAPE PLAN	
DATE:	OCT 04, 2024
DRAWN BY:	IGC
CHECKED BY:	MEK
PROJECT NO.:	336-682
APPROVED BY:	MILG

DRAWING NO. **CZ-2.0**



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Balboa Elevations for Palisades



Elevation A



Elevation B



Elevation B - Painted Brick



Elevation C



Elevation E



Elevation H

Brentwood Elevations for Palisades



Elevation B



Elevation C



Elevation D

REVISION RECORD

NO.	DATE	DESCRIPTION
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**WEDDINGTON GROVE
 CLASSICA HOMES, LLC
 SINGLE-FAMILY DEVELOPMENT
 WEDDINGTON, NORTH CAROLINA**

ARCHITECTURAL STANDARDS

DRAWING NO. **C400**

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:			396-682
APPROVED BY:			MILG

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Coronado Elevations for Palisades



Elevation A



Elevation B – painted brick



Elevation C



Elevation H

Huntley Elevations for Palisades



Elevation A – black windows



Elevation A



Elevation B



Elevation C



Elevation H

NO	DATE	DESCRIPTION
1	04/18/2024	SUBMITTAL TO TOWN OF WEDDINGTON

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**WEDDINGTON GROVE
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 SINGLE-FAMILY DEVELOPMENT
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ARCHITECTURAL STANDARDS

DATE: OCT 04, 2024 | DRAWN BY: IGC
 DIVS SCALE: AS SHOWN | CHECKED BY: MEK
 PROJECT NO: 336-682
 APPROVED BY: MILG

DRAWING NO: **C401**

A:\130-001\130-6821_C402\Comp\Exhibitions\130682-C4-3-D-ARCHITECTURAL STANDARDS.mxd(1/2) LS(10/2/2024 - 10am) - LP: 10/4/2024 2:21 PM

Marin Elevations for Palisades



Elevation A



Elevation B- painted brick



Elevation C



Elevation D



Elevation H

Monterey Elevations for Palisades



Elevation E



Elevation G



Elevation H



Elevation L – painted brick



Elevation M

REVISION RECORD

NO	DATE	DESCRIPTION
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WEDDINGTON GROVE
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ARCHITECTURAL STANDARDS

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:		APPROVED BY:	336-682
			MILG

DRAWING NO. **C402**

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Napa Elevations for Palisades



Elevation A



Elevation C



Elevation D



Elevation H

Newport II Elevations for Palisades



Elevation E



Elevation F



Elevation G



Elevation G - Painted Brick



Elevation H

REVISION RECORD

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WEDDINGTON GROVE
CLASSICA HOMES, LLC
SINGLE-FAMILY DEVELOPMENT
WEDDINGTON, NORTH CAROLINA

ARCHITECTURAL STANDARDS

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:			396-682
APPROVED BY:			MILG

DRAWING NO. **C403**

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Santa Fe Elevations for Palisades



Elevation A



Elevation B



Elevation B - Painted Brick



Elevation C



Elevation H

Solana Elevations for Palisades



Elevation A



Elevation C



Elevation D



Elevation H

NO	DATE	DESCRIPTION
1	04/18/2024	SUBMITTAL TO TOWN OF WEDDINGTON

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WEDDINGTON GROVE
CLASSICA HOMES, LLC
SINGLE-FAMILY DEVELOPMENT
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ARCHITECTURAL STANDARDS

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:	396-682	APPROVED BY:	MILG

DRAWING NO. **C404**

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Tiburon Elevations for Palisades



Elevation A



Elevation C



Elevation H

NO	DATE	DESCRIPTION
1	04/18/2024	SUBMITTAL TO TOWN OF WEDDINGTON

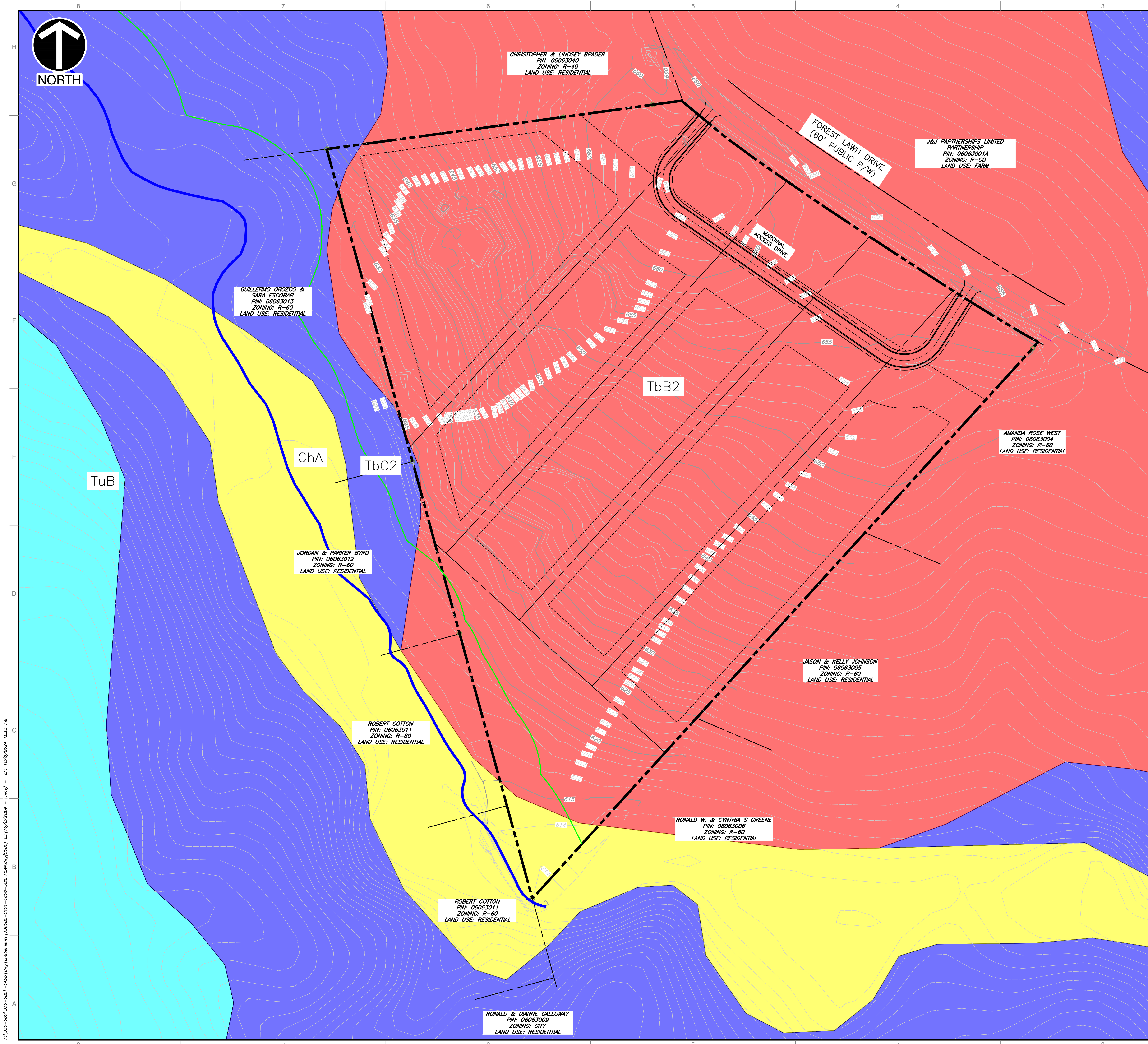
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**WEDDINGTON GROVE
 CLASSICA HOMES, LLC
 SINGLE-FAMILY DEVELOPMENT
 WEDDINGTON, NORTH CAROLINA**

ARCHITECTURAL STANDARDS

DRAWING NO: **C405**

DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO:	396-682	APPROVED BY:	MILG



LEGEND

- PROJECT BOUNDARY
 - SETBACKS
 - EXISTING RIGHT-OF-WAY
 - EXISTING ADJACENT PARCEL
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED ROADWAY CENTERLINE
 - EXISTING STREAM
 - 100' STREAM BUFFER
-
- TbB2-TARRUS GRAVELLY SILTY CLAY LOAM, 2 TO 8 PERCENT SLOPES, MODERATELY ERODED
 - TbC2-TARRUS GRAVELLY SILTY CLAY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED
 - ChA-CHEWACLA SILT LOAM, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
 - TuB-TARRUS-URBAN LAND COMPLEX, 2 TO 8 PERCENT SLOPES

SOIL DATA IS FROM NATURAL RESOURCES CONSERVATION SERVICE U.S. DEPARTMENT OF AGRICULTURE.

REVISION RECORD

NO.	DATE	DESCRIPTION
1	04/18/2024	SUBMITAL TO TOWN OF WEDDINGTON

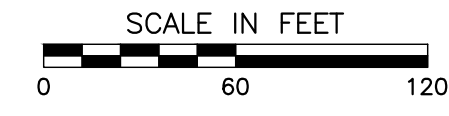
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**WEDDINGTON GROVE
 CLASSICA HOMES, LLC
 SINGLE-FAMILY DEVELOPMENT
 WEDDINGTON, NORTH CAROLINA**

EXISTING SOIL PLAN

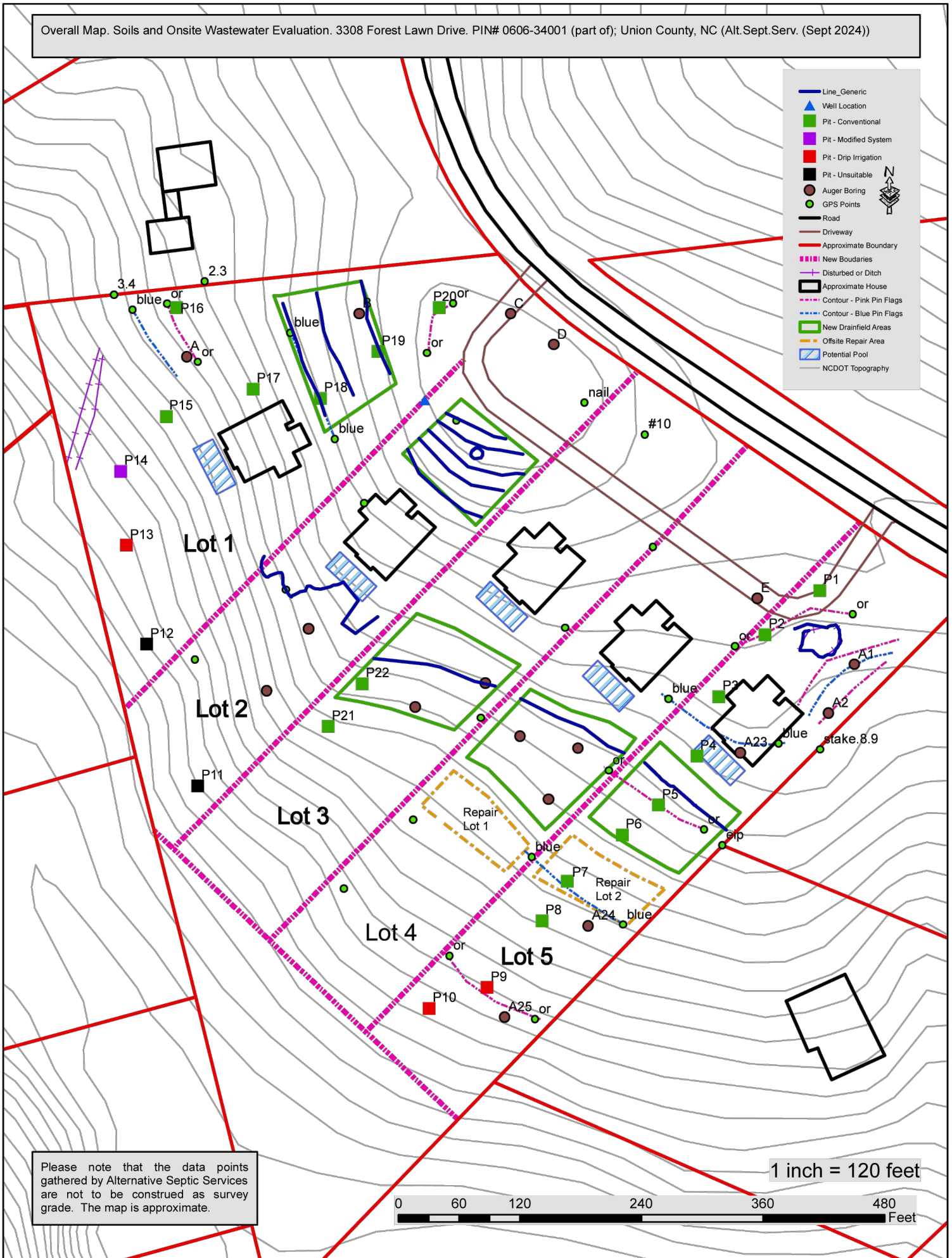
DATE:	OCT 04, 2024	DRAWN BY:	IGC
DWG SCALE:	AS SHOWN	CHECKED BY:	MEK
PROJECT NO.:	396-682	APPROVED BY:	MILG

DRAWING NO. **C500**



P:\130-001\130-682-0000\Drawings\130682-017-0000-SOIL PLAN.dwg (2/09/2024 12:25 PM) - LP: 10/29/2024 12:25 PM

- Line_Generic
- Well Location
- Pit - Conventional
- Pit - Modified System
- Pit - Drip Irrigation
- Pit - Unsuitable
- Auger Boring
- GPS Points
- Road
- Driveway
- Approximate Boundary
- New Boundaries
- Disturbed or Ditch
- Approximate House
- Contour - Pink Pin Flags
- Contour - Blue Pin Flags
- New Drainfield Area
- Offsite Repair Area
- Potential Pool
- NCDOT Topography



Please note that the data points gathered by Alternative Septic Services are not to be construed as survey grade. The map is approximate.

1 inch = 120 feet

