

WEDDINGTON TOWN CENTER

**POLIVKA OFFICE
 PARK**

13700 PROVIDENCE RD.
 WEDDINGTON, NORTH CAROLINA
 ODA PROJECT # 233726

ZONING APPROVAL

10.09.2024

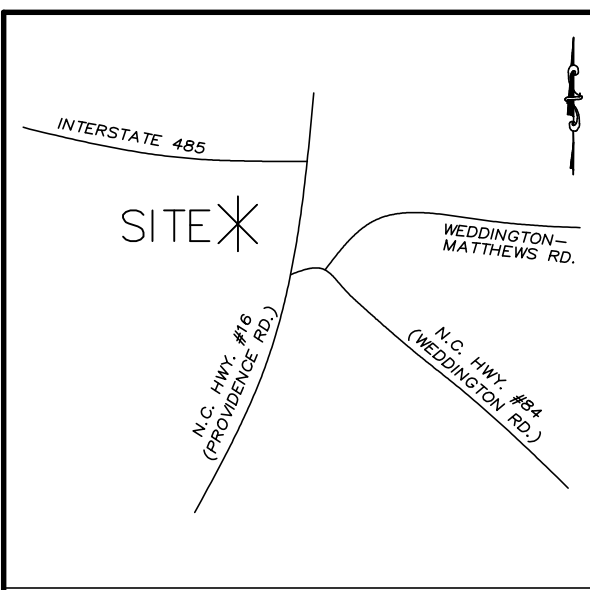
REVISIONS

No.	Description	Date

**SURROUNDING
 CONTEXT**

CZ-001

10/9/2024 9:03:43 AM



VICINITY MAP: N.T.S.

- LEGEND:**
- REBAR FOUND (AS NOTED)
 - #4 IRON SET
 - △ COMPUTED POINT
 - R/W RIGHT-OF-WAY
 - EIP EXISTING IRON PIPE
 - STORM WATER EASEMENT

WEDDINGTON UNITED METHODIST
 PID#06150045A
 DEED BK-5074 PG-746
 ZONED: RCD
 EXISTING USES: CHURCH

JAMES HUNTER
 PID#06150044
 DEED BK-1991 PG-752
 ZONED: RCD
 EXISTING USES: SINGLE FAMILY

13700 PROVIDENCE RD LLC
 DEED BK-4430 PG-860
 PID#06150045
 ZONED: MX
 EXISTING USES: GENERAL OFFICE

LOT 1
 104,455 SQ.FT.
 2.398 ACRES

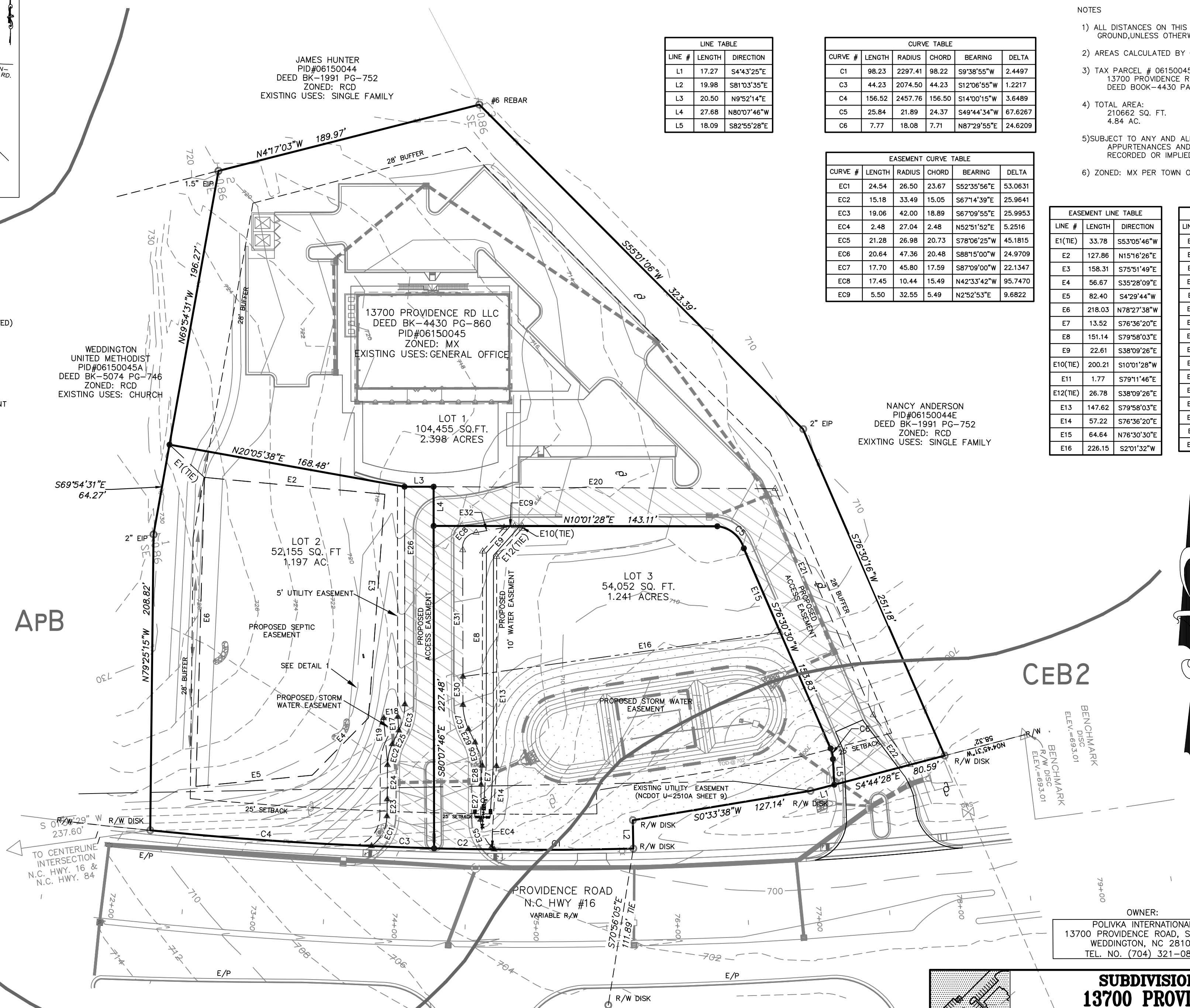
LOT 2
 52,155 SQ. FT.
 1.197 AC.

LOT 3
 54,052 SQ. FT.
 1.241 ACRES

NANCY ANDERSON
 PID#06150044E
 DEED BK-1991 PG-752
 ZONED: RCD
 EXISTING USES: SINGLE FAMILY

APB

CEB2



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	17.27	S4°43'25"E
L2	19.98	S81°03'35"E
L3	20.50	N9°52'14"E
L4	27.68	N80°07'46"W
L5	18.09	S82°55'28"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	98.23	2297.41	98.22	S9°38'55"W	2.4497
C3	44.23	2074.50	44.23	S12°06'55"W	1.2217
C4	156.52	2457.76	156.50	S14°00'15"W	3.6489
C5	25.84	21.89	24.37	S49°44'34"W	67.6267
C6	7.77	18.08	7.71	N87°29'55"E	24.6209

EASEMENT CURVE TABLE

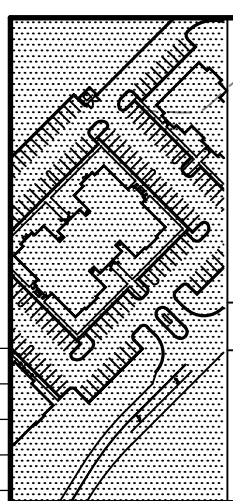
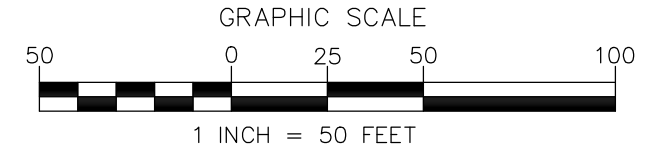
CURVE #	LENGTH	RADIUS	CHORD	BEARING	DELTA
EC1	24.54	26.50	23.67	S52°35'56"E	53.0631
EC2	15.18	33.49	15.05	S67°14'39"E	25.9641
EC3	19.06	42.00	18.89	S67°09'55"E	25.9953
EC4	2.48	27.04	2.48	N52°51'52"E	5.2516
EC5	21.28	26.98	20.73	S78°06'25"W	45.1815
EC6	20.64	47.36	20.48	S88°15'00"W	24.9709
EC7	17.70	45.80	17.59	S87°09'00"W	22.1347
EC8	17.45	10.44	15.49	N42°33'42"W	95.7470
EC9	5.50	32.55	5.49	N2°52'53"E	9.6822

EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
E1(TIE)	33.78	S53°05'46"W
E2	127.86	N15°16'26"E
E3	158.31	S75°51'49"E
E4	56.67	S35°28'09"E
E5	82.40	S4°29'44"W
E6	218.03	N78°27'38"W
E7	13.52	S76°36'20"E
E8	151.14	S79°58'03"E
E9	22.61	S38°09'26"E
E10(TIE)	200.21	S10°01'28"W
E11	1.77	S79°11'46"E
E12(TIE)	26.78	S38°09'26"E
E13	147.62	S79°58'03"E
E14	57.22	S76°36'20"E
E15	64.64	N76°30'30"E
E16	226.15	S2°01'32"W

EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
E17	9.57	S84°56'31"E
E18	10.00	S50°3'29"W
E19	32.32	S84°56'31"E
E20	241.06	N10°17'47"E
E21	174.08	S76°31'32"W
E22	43.67	S63°15'21"W
E23	11.89	S79°07'49"E
E24	24.29	S79°33'07"E
E25	10.76	S54°10'04"E
E26	153.51	S80°07'46"E
E27	24.68	N79°15'46"W
E28	9.78	N80°49'37"W
E29	10.46	S73°34'00"W
E30	19.90	N80°06'53"W
E31	89.35	N80°06'53"W
E32	22.02	N02°5'57"W



OWNER:
 POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, STE 200
 WEDDINGTON, NC 28104
 TEL. NO. (704) 321-0802

SUBDIVISION SURVEY
13700 PROVIDENCE RD
POLIVKA INTERNATIONAL

TOWN OF WEDDINGTON
 UNION COUNTY, NORTH CAROLINA
 PREPARED FOR: POLIVKA INTERNATIONAL

File #	17118-RM	Date	REV-8-1-18	Project P.L.S.:	SSD
THE ISAACS GROUP		Surveyed By:	JN	Drawn By:	LAS
CIVIL ENGINEERING DESIGN AND LAND SURVEYING		Scale:	1"=50'		

8720 RED OAK BLVD. SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

PRELIMINARY
 FOR REVIEW ONLY

NOTE:
 THE TOPO PROVIDED BY THE PE CAN ONLY BE IN SUPPORT OF THE PE'S PROJECT AND CANNOT BE ISSUED TO BE RELIED UPON BY OTHERS. THE PE WILL BE TAKING RESPONSIBILITY FOR THE TOPO AS IT IMPACTS THE PROJECT UNDER THE PE LICENSE.

October 9, 2024

Town of Weddington
Attn: Planning Board
1924 Weddington Road
Weddington, NC 28104

Re: 13700 Providence Road
Matthews, NC
DPR Project #: 24065



To whom it may concern:

A preliminary engineering analysis was performed for the project site located at 13700 Providence Road in Matthews, North Carolina. This analysis allowed us to determine the necessary improvements that would need to be made to the existing stormwater control measure in order to accommodate the proposed increase in built-upon-area (BUA).

Per the Conditional Rezoning Architectural Site Plan prepared by ODA Architecture, approximately 0.70 acres of new impervious area is proposed. The existing stormwater for this site is managed by a dry detention basin and surface sand filter to provide both quantity and quality controls.

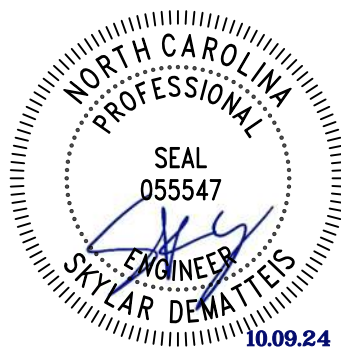
In order to accommodate the proposed 0.70 acres of increased BUA, the following modifications to the existing dry detention basin and surface sand filter are proposed:

- Increase volume of current dry detention from 32,000 ft³ to 55,000 ft³ by providing a two ft. wall on the southern side of the basin and raising the top of the basin from 702.00 to 704.00.
- Minor modifications to the existing outlet control structure (rim elevation, orifices, weirs) and sand media will be required. This will be fully designed during the construction design phase and permitting with the Town of Weddington.

The proposed modifications meet the current Town of Weddington UDO requirements for stormwater management, including providing detention volume control up to the 100-year, 24-hour storm event.

Sincerely,

Skylar DeMatteis, PE
Civil Project Manager
DPR Design
sdematteis@dpr.design
(330)-844-0306



General Notes

- The owner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where specified conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the conditional notes on this plan shall apply.
- This Site Plan is schematic in nature and represents a firm concept of development with regard to the arrangement of the building, parking and circulation patterns. Minor changes of detail which do not alter the basic layout and relationships to abutting sites are permitted as a matter of right for the petitioner / developer.
- Proposed Uses** : The use of the two new proposed buildings will be General Office and Medical Office only.
- Parking Spaces** : parking spaces shall be a minimum of 9' x 20'. There are 77 spaces illustrated, and allocated to the new buildings. Parking to meet UDO requirements.
- Phasing** : It is the intent of the developer to construct both new and proposed buildings simultaneously in on phase.
- Signage** : All Signage will be permitted separately
- Building Height**: The maximum building height for a MX Zone is 40'. As illustrated in the renderings and elevations, the height of the ridge will be a maximum of 40'.
- Landscape Requirements** : The petitioner understands that, as a condition of approval, the proposed development shall be subject to all landscape and buffer requirements of the Town of Weddington UDO
- Sewer Allocations** : The proposed development will have a Septic System with the capacity for the proposed office buildings, as designed by Piedmont Design Associates, P.A. See Sheets U-1, U-2, U-3

Polivka International
13700 Providence Road, LLC.

Existing Zoning: MX (CZ)
Mixed Use Conditional Zoning District

DEED BK-4430 PG-860
PID #06150045
Lot 1, Lot 2, Lot 3

Acree: 5.06 acres
FAR Maximum: 20% (44,083 SF)
FAR Proposed: 15% (32,300 SF)

Site Data:

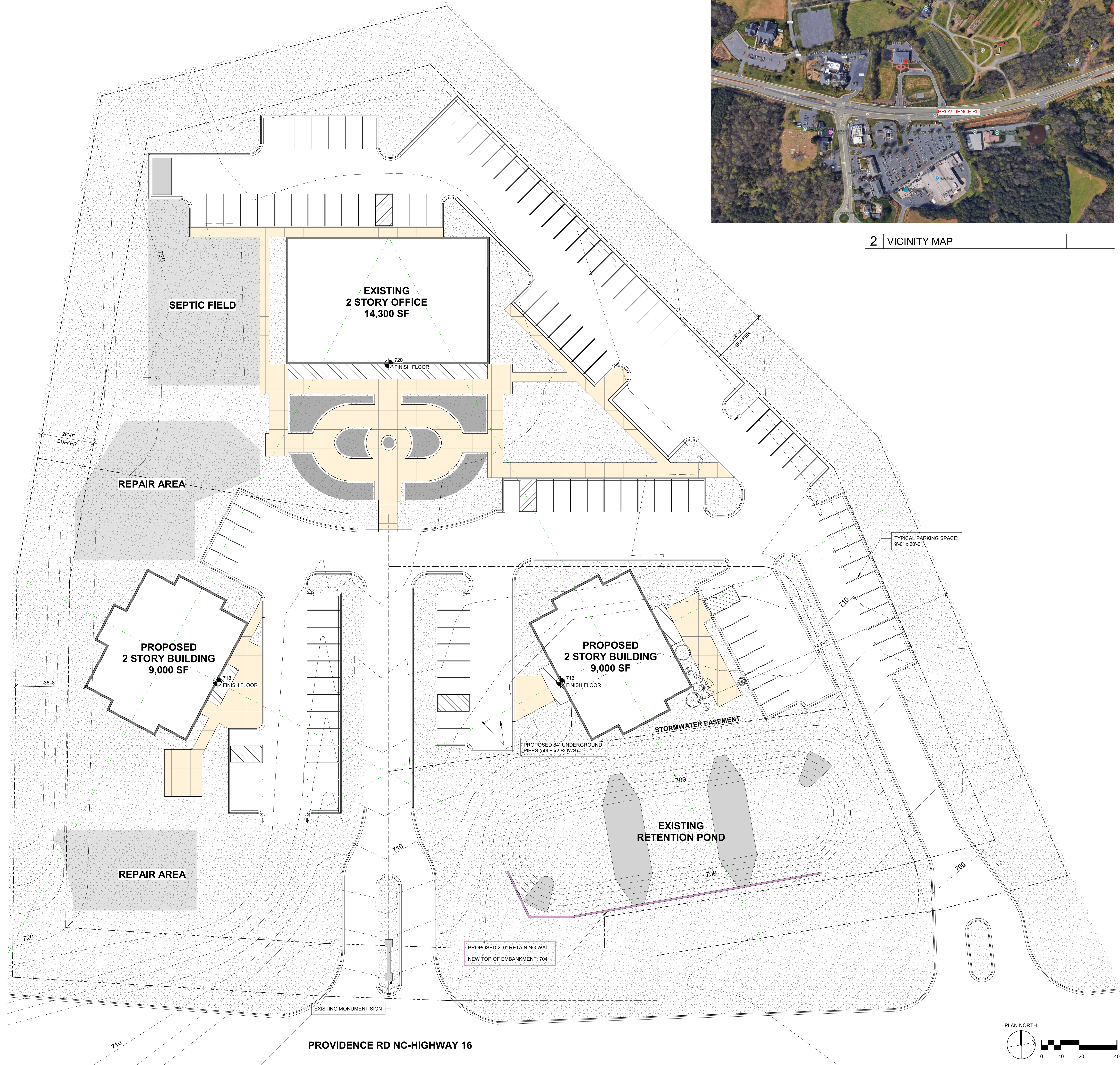
North Adjacent Land Parcel
Nancy Anderson
PID# 06150044E
DEED BK-1991 PG-752
Zone: R-40
Existing Use: Single Family

West Adjacent Land Parcel
James Hunter
PID# 06150044
DEED BK-1991 PG-752
Zone: R-40
Existing Use: Single Family

South Adjacent Parcel
Weddington United Methodist Church
PID# 06150045A
DEED BK-5047 PG-746
Zone: R-40
Existing Use: Church

Proposed Uses: The proposed uses are General Office and Medical Office only.

Proposed Development Description: The Site Plan illustrates (2) two-story office buildings of 9,000 sf each. The style of the proposed structures is Georgian with similar detailing to the existing 2-story office building. The access to the site exists and will remain. New parking areas will be constructed in the general configuration illustrated on the Site Plan.



2 VICINITY MAP

1 SITE PLAN



PROGRESS PRINT
NOT FOR
CONSTRUCTION

CONSULTANT:

**POLIVKA OFFICE
PARK**

13700 PROVIDENCE RD.
WEDDINGTON, NORTH CAROLINA
ODA PROJECT # 233726

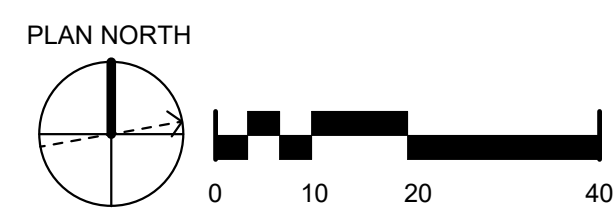
ZONING APPROVAL

10.09.2024

REVISIONS		
No.	Description	Date

**ARCHITECTURAL
SITE PLAN**

CZ-002



10/9/2024 9:03:48 AM



ODA Architecture
 2010 South Tryon St., Suite 1a
 Charlotte, NC, 28203
 704.332.1615
 www.oda.us.com

SEAL:

**PROGRESS PRINT
 NOT FOR
 CONSTRUCTION**

CONSULTANT:

Tree Planting Notes

1. All trees and shrubs shall meet or exceed the minimum requirements as noted in Weddington Municode Section 58-8.
2. The contractor shall contact North Carolina One Call prior to digging.
3. Planting backfill mixture: 4 parts topsoil; 1 part peat moss; 10 LBS. 5-10-5 planting fertilizer thoroughly mixed per cubic yard.
4. Stake trees immediately after planting.
5. All disturbed areas shall be seeded and mulched.
6. All existing landscaping to remain where possible. Any plantings damaged during the construction process to be replaced by equal or more plantings than before.

Buffer Yard Notes

1. Any existing trees retained in healthy condition yard buffers may be credited for any required tree planting.
2. Trees and shrubs for buffer planting to be selected from the town of Weddington list of acceptable plant species, Chapter 18 Appendix 1.

Screening Requirements (per table 58-8)

Perimeter Buffer: 6 Trees and 20 Shrubs per 100'

Open Space Requirement

Total Site: 220,413 SF (5.06 Acres)
 10% Open Space Required (22,041 SF)
 17% Open Space Provided (38,033 SF)

KEY:

- Existing Lampposts X
- Proposed Lampposts X
- New Plantings for Screening

PLANT LIST

KEY: COMMON BOTANICAL NAME SIZE

TREES		
AR	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2" CAL. B & B, LUMB UP TO 6'
BN	BETULA NIGRA RIVER BIRCH	2" CAL. B & B,
FA	ILEX X ATTENUATA 'FOSTER' FOSTER HOLLY	2" CAL. B & B,
LI	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ GRAPE MYRTLE	2" CAL. B & B,
PY	PRUNUS YEDOENSIS YOCHINO CHERRY	2" CAL. B & B,

SHRUBS		
FI	FORSYTHIA INTERMEDIA SHOWY FORSYTHIA	24" MN. HT., 4" O.C.
RU	RAPHOLEPIS UMBELLATA YEDDO-HAWTHORN	36" HT., 4" O.C.
LL	LIQUISTRUM LUCIDUM GLOSSY PRIVET	36" HT., 5" O.C.

BMP PLANTING			
BNB	BETULA NIGRA RIVER BIRCH	8" HT., B&B	
L1B	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ GRAPE MYRTLE	6" HT., B&B	
MG	MAGNOLIA 'LITTLE GEM' LITTLE GEM MAGNOLIA	5" HT., B&B	
IH	ILEX CRENATA COMPACTA COMPACTA HOLLY	24" HT., 4" O.C.	
INSIDE BMP SAND FILTER PLANTS:			
RO	RIVER OATS Chenanthum latifolium	2FT OC	2"DIA X 5'PLUG
JP	JOE PYE WEED Eupatorium fistulosum	2 FT OC	2"DIA X 5'PLUG
LB	LITTLE BLUESTEM Schizachyrium scoparium	1.5 FT OC	2"DIA X 5'PLUG
EP	BONESET Eupatorium delphin perfoliatum	1.5 FT OC	#5PM CG

ADDITIONAL PLANTING (PARKING AREAS, BLDG FOUNDATION)			
IC	ILEX CORNUTA 'CARISSA' CARISSA HOLLY	24" HT., 3" O.C.	
ND	NANDINA DOMESTICA 'GULFSTREAM' GULFSTREAM NANDINA	15" HT., 24" O.C.	
TB	ILEX CORNUTA BURFORDI BURFORD HOLLY	LIMBED UP TREE FORM 4" HT.	



**POLIVKA OFFICE
 PARK**

13700 PROVIDENCE RD.
 WEDDINGTON, NORTH CAROLINA
 ODA PROJECT # 233726

ZONING APPROVAL

10.09.2024

REVISIONS		
No.	Description	Date

LANDSCAPE AND
 SITE LIGHTING PLAN

CZ-003

10/9/2024 9:03:54 AM

TOTAL SITE: 220,413 S.F. (5.06 ACRES)
10% OPEN SPACE REQUIRED: 22,041 S.F.,
63,162 S.F. PROVIDED

Screening Requirements (per table 58-8)
Perimeter Buffer: 6 Trees and 20 Shrubs per 100'

LANDSCAPING NOTES

- ALL TREES AND SHRUBS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN WEDDINGTON MUNICOD SECTION 58-8.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL PRIOR TO DIGGING.
- PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 10 LBS. 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.

PLANT LIST

KEY | COMMON/ BOTANICAL NAME | QTY. | SIZE

TREES			
AR	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	15	2" CAL., B & B, LIMB UP TO 6'
BN	BETULA NIGRA RIVER BIRCH	12	2" CAL., B & B,
FA	ILEX X ATTENUATA 'FOSTERI' FOSTER HOLLY	25	2" CAL., B & B,
LI	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	6	2" CAL., B & B,
PY	PRUNUS YEDOENSIS YOSHINO CHERRY	12	2" CAL., B & B,

SHRUBS			
FI	FORSYTHIA INTERMEDIA SHOWY FORSYTHIA	44	24" MIN. HT., 4" O.C.
RU	RAPHIOLEPSIS UMBELLATA YEDDO-HAWTHORN	95	36" HT., 4" O.C.
LL	LIGUSTRUM LUCIDUM GLOSSY PRIVET	107	36" HT., 5" O.C.

BMP PLANTING			
BN-B	BETULA NIGRA RIVER BIRCH	2	8' HT., B&B
LI-B	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	3	6' HT., B&B
MG	MAGNOLIA 'LITTLE GEM' LITTLE GEM MAGNOLIA	6	5' HT., B&B.
IH	ILEX CRENATA COMPACTA COMPACTA HOLLY	55	24" HT., 4" O.C.
INSIDE BMP SAND FILTER PLANTS:			
RO	RIVER OATS Chasmanthium latifolium	5	2FT OC 2"DIA X 5"PLUG
JP	JOE PYE WEED Eupatoriadelphus fistulosus	9	2 FT OC 2"DIA X 5"PLUG
LB	LITTLE BLUESTEM Schizachyrium scoparium	200	1.5 FT OC 2"DIA X 5"PLUG
EP	BONESET Eupatoriadelphus perfoliatum	200	1.5 FT OC #SP4 CG

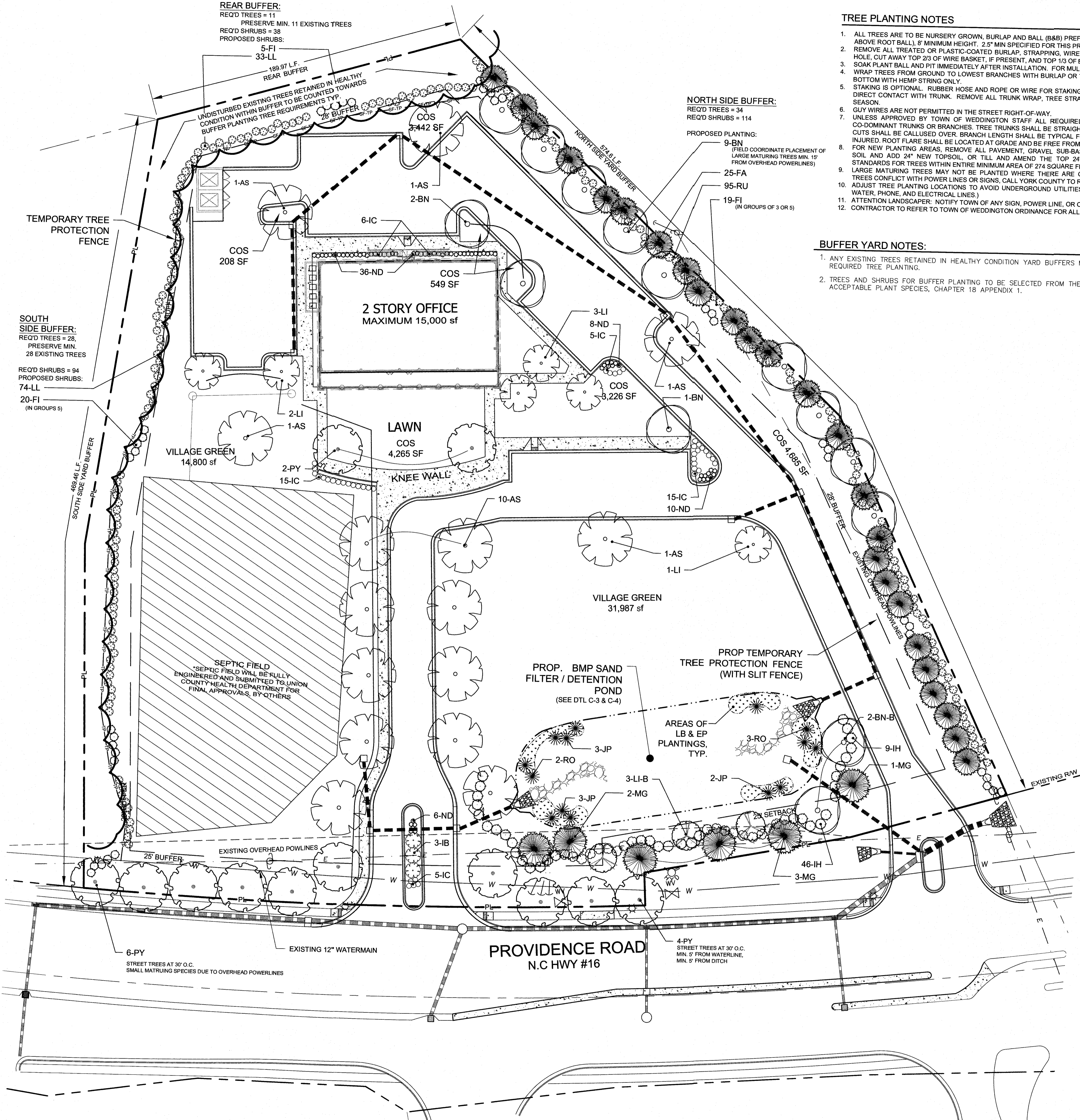
ADDITIONAL PLANTING (PARKING AREAS, BLDG FOUNDATION)			
IC	ILEX CORNUTA 'CARISSA' CARISSA HOLLY	46	24"HT., 3" O.C.
ND	NANDINA DOMESTICA 'GULFSTREAM' GULFSTREAM NANDINA	60	15" HT., 24" O.C.
TB	ILEX CORNUTA BURFORDI BURFORD HOLLY	3	LIMBED UP TREE FORM, 4' HT.

TREE PLANTING NOTES

- ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B) PREFERRED. MINIMUM TREE SIZE IS 2" CALIPER (MEASURED 6" ABOVE ROOT BALL), 8' MINIMUM HEIGHT. 2.5" MIN SPECIFIED FOR THIS PROJECT.
- REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY TOP 2/3 OF WIRE BASKET, IF PRESENT, AND TOP 1/3 OF BURLAP.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. FOR MULCH, USE PINE NEEDLES OR SEASONED MULCH (4"). WRAP TREES FROM GROUND TO LOWEST BRANCHES WITH BURLAP OR TREE WRAP PAPER (OPTIONAL). SECURE NEAR TOP AND BOTTOM WITH HEMP STRING ONLY.
- STAKING IS OPTIONAL. RUBBER HOSE AND ROPE OR WIRE FOR STAKING IS NOT RECOMMENDED. NO WIRE OR ROPE IS TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TRUNK WRAP, TREE STRAPS, AND STAKING WIRE OR ROPE AFTER ONE GROWING SEASON.
- GUY WIRES ARE NOT PERMITTED IN THE STREET RIGHT-OF-WAY.
- UNLESS APPROVED BY TOWN OF WEDDINGTON STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING CUTS SHALL BE CALLUSED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXCESSIVE ADVENTITIOUS ROOT GROWTH.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE.
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL YORK COUNTY TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES.)
- ATTENTION LANDSCAPER: NOTIFY TOWN OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- CONTRACTOR TO REFER TO TOWN OF WEDDINGTON ORDINANCE FOR ALL APPLICABLE PLANTING DETAILS AND GUIDELINES.

BUFFER YARD NOTES:

- ANY EXISTING TREES RETAINED IN HEALTHY CONDITION YARD BUFFERS MAY BE CREDITED FOR ANY REQUIRED TREE PLANTING.
- TREES AND SHRUBS FOR BUFFER PLANTING TO BE SELECTED FROM THE TOWN OF WEDDINGTON LIST OF ACCEPTABLE PLANT SPECIES, CHAPTER 18 APPENDIX 1.



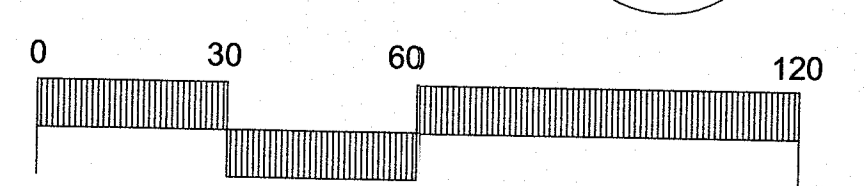
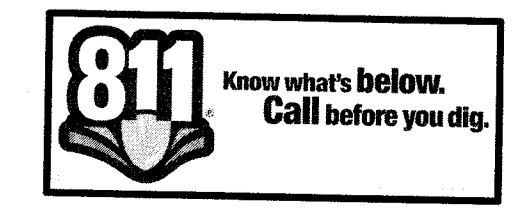
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FOR REFERENCE ONLY:

LANDSCAPE PLAN FROM ORIGINAL SUBMISSION

ISSUE _____ DATE _____
TOWN SUBM _____ 5-10-13
PERMIT SUBM _____ 5-10-13
Project Name C _____ 3-27-13

PLANTING COMMON OPEN SPACE PLAN



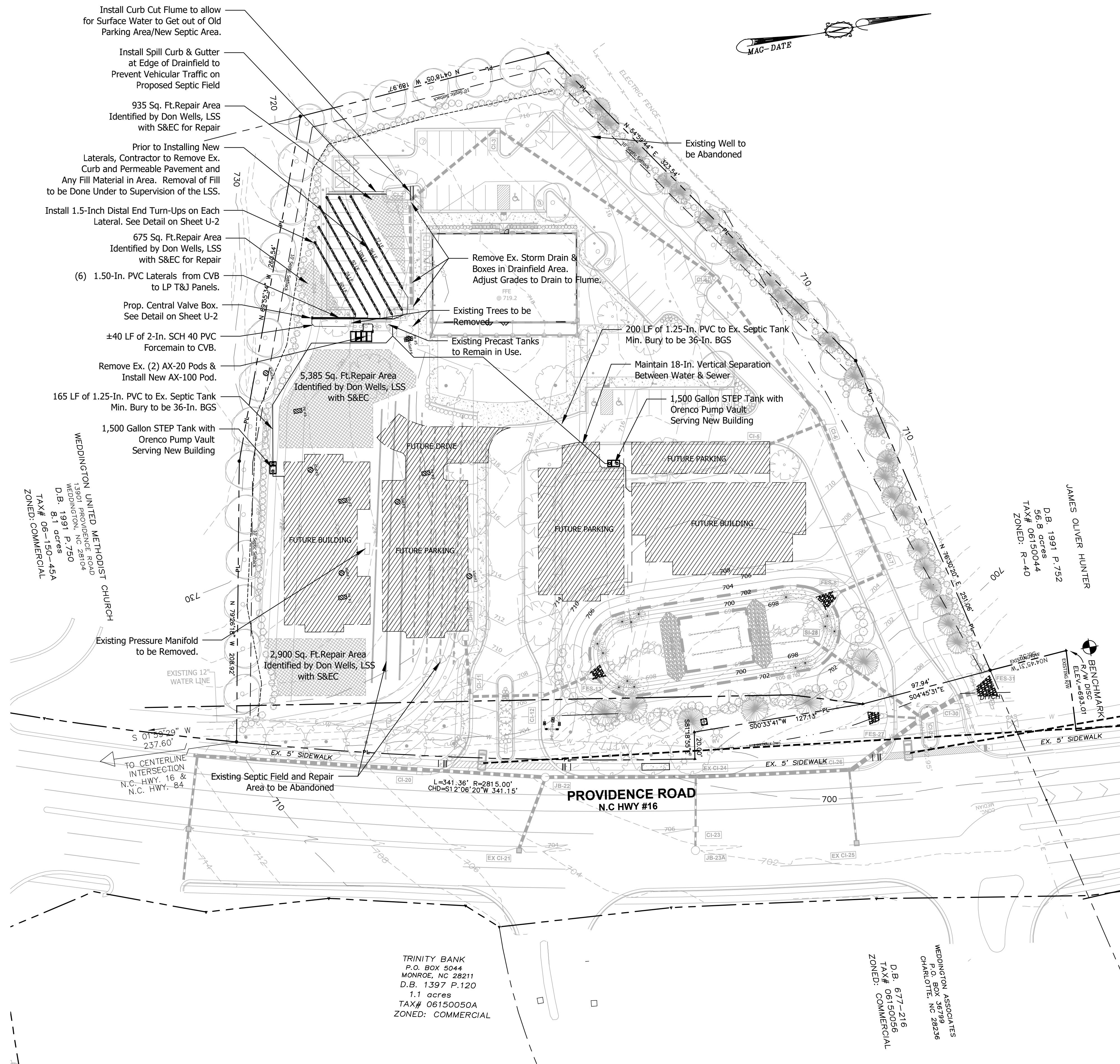
ENGINEER:
 PIEDMONT DESIGN ASSOCIATES, PA
 125 EAST PLAZA DRIVE, SUITE 101
 MOORESVILLE, NC 28115
 DONALD L. MUNDAY, PE
 (704) 664-7888
 LICENSE NO: 17327

SOIL SCIENTIST:
 SOIL & ENVIRONMENTAL CONSULTANTS, PA
 8412 FALLS OF NEUSE ROAD
 RALEIGH, NC 27615
 DON WELLS, LSS
 (919) 846-5900
 LICENSE NO: 1099

SURVEYOR:
 THE ISAACS GROUP
 8720 RED OAK BLVD # 420
 CHARLOTTE, NC 28217
 STEVE DYER, PLS
 (704) 527-3440
 LICENSE NO: L-3509

SEPTIC CONTRACTOR:
 AQWA
 2604 WILLIS COURT
 WILSON, NC 27896
 (252) 243-7693
 LICENSE NO: 57240

PROPERTY OWNER:
 POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, 200
 WEDDINGTON, NC 28207
 (704) 321-0802

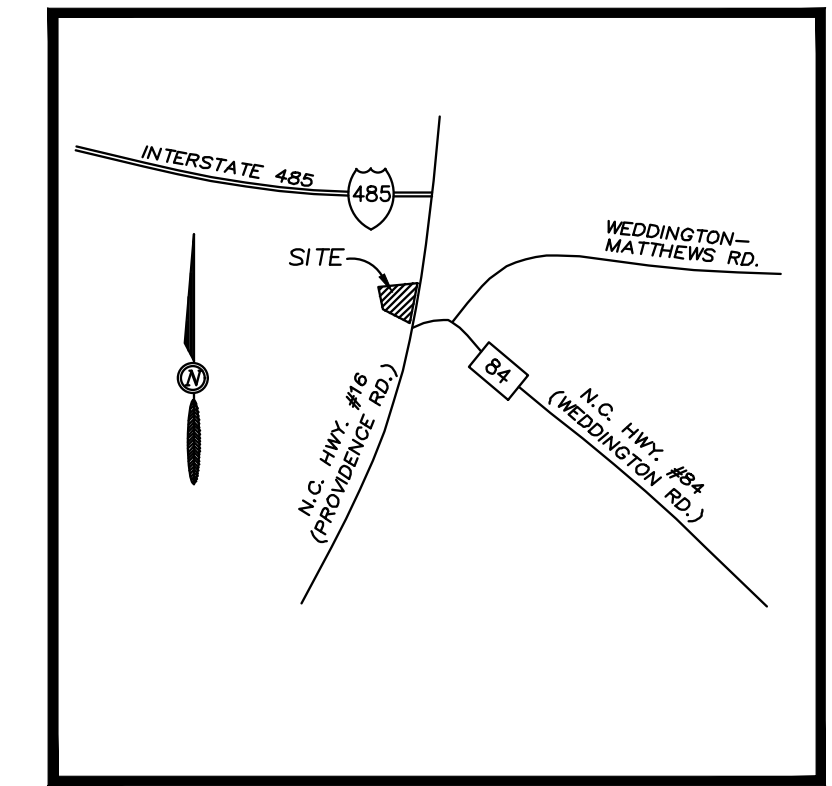


WEDDINGTON UNITED METHODIST CHURCH
 1800 PROVIDENCE ROAD
 WEDDINGTON, NC 28104
 D.B. 1991 P.752
 8.1 acres
 TAX# 06-150-45A
 ZONED: COMMERCIAL

JAMES OLIVER HUNTER
 D.B. 1991 P.752
 56.8 acres
 TAX# 06150044
 ZONED: R-40

TRINITY BANK
 P.O. BOX 5044
 MONROE, NC 28211
 D.B. 1397 P.120
 1.1 acres
 TAX# 06150050A
 ZONED: COMMERCIAL

WEDDINGTON ASSOCIATES
 P.O. BOX 36799
 CHARLOTTE, NC 28236
 D.B. 677-216
 TAX# 06150056
 ZONED: COMMERCIAL



VICINITY MAP
 NO SCALE

MARINA DESIGN NOTES:

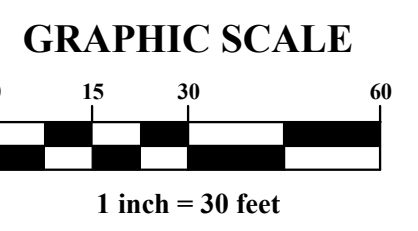
DESIGN FLOW:	1,600 G/D
REPAIR LTAR:	0.55 G/D/SF (LP PPBPS)
EX. SEPTIC TANK SIZE:	2,000 GALLON (BAFFLED)
NEW STEP TANK SIZE:	(2) 1,500 GALLON STEP TANKS
NEW EFFLUENT FILTER:	ORENCO MODEL
RECIRCULATION TANK SIZE:	EX. 2,000 GALLON PRECAST TANK
PUMP TANK SIZE:	EX. 1,000 GALLON PRECAST TANK
UV FILTER:	
FIELD DOSING PUMPS:	ORENCO MODEL PF2005-12
SUBSURFACE DISTRIBUTION:	LP PPBPS (VERTICAL)
FORCEMAIN SIZE:	2.0-INCH SCH 40 PVC
NO. OF LATERALS:	6 (VARIOUS LENGTHS)
LATERAL SIZE:	1.5-INCH PR 160 PVC
TRENCH BOTTOM:	48" PER DON WELLS, LSS
8 DOSES TO SYSTEM PER DAY	
ORIFICE SIZE:	1/8-INCH @ 3 FT HEAD
TIME PER DOSE:	5.34 MINUTES
PUMP FLOW:	37.44 GPM
TOTAL DOSE VOLUME:	200 GAL/DOSE
VOL. PER PANEL PER DOSE:	1.71 GALLONS OR 47.48% OF PANEL VOLUME

AREA IS AVAILABLE FOR REPAIR AND SHALL REMAIN UNDISTURBED

- NOTES:
- SOILS WORK PROVIDED BY DON WELLS, LSS WITH S&EC.
 - SURVEY INFORMATION BY ISAACS GROUP.
 - PRIOR TO ANY CONSTRUCTION, BARRICADE ALL DISPOSAL AREAS FROM CONSTRUCTION TRAFFIC.
 - CLEAR DRAIN FIELD OF ALL DEBRIS, LIMBS, ETC.
 - LIGHTLY HAND SMOOTH ANY IRREGULAR SURFACES. REDO PRIOR TO INSTALLATION OF LATERALS. ENSURE THAT DISPOSAL AREAS ARE CAPABLE OF SHEDDING RAINWATER AND FREE OF ANY LOW AREAS.
 - SEED ALL DISPOSAL AREAS.
 - MAINTAIN 8' MINIMUM SEPARATION ON ALL LATERALS.
 - OBSERVE ALL SETBACKS.
 - AREA IS AVAILABLE FOR REPAIR AND SHALL REMAIN UNDISTURBED.

- REFER TO SPECIFICATION PACKAGE FOR MATERIALS SELECTION AND INSTALLATION REQUIREMENTS.
- REFER TO SHEET U-2 FOR TREATMENT PLAN/PROFILE, INSTALLATION DETAILS & ELEVATIONS.

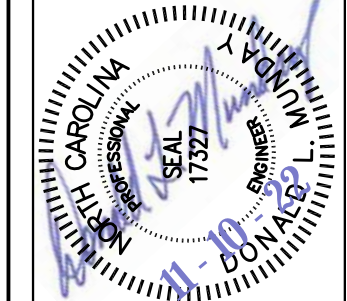
NOTE:
 WATER TO THE FACILITY IS SERVED BY A WELL LOCATED MORE THAN 100 FEET FROM THE SYSTEM COMPONENTS.



PIEDMONT DESIGN
 ENGINEERING SURVEYING PLANNING
Associates, P.A.
 Suite 101 Westfield Center, 125 East Plaza Drive
 Mooresville, NC 28115
 Phone: (704) 664-7888 Fax: (704) 664-7889
 www.pdpap.com
 N.C.B.E.L.S. License #: C-1007

PREPARED FOR:
POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, SUITE 200
 WEDDINGTON, NC 28104
 704-321-0802

SEPTIC SYSTEM SITE PLAN
POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD
 WEDDINGTON, UNION COUNTY, NORTH CAROLINA



REVISIONS	BY

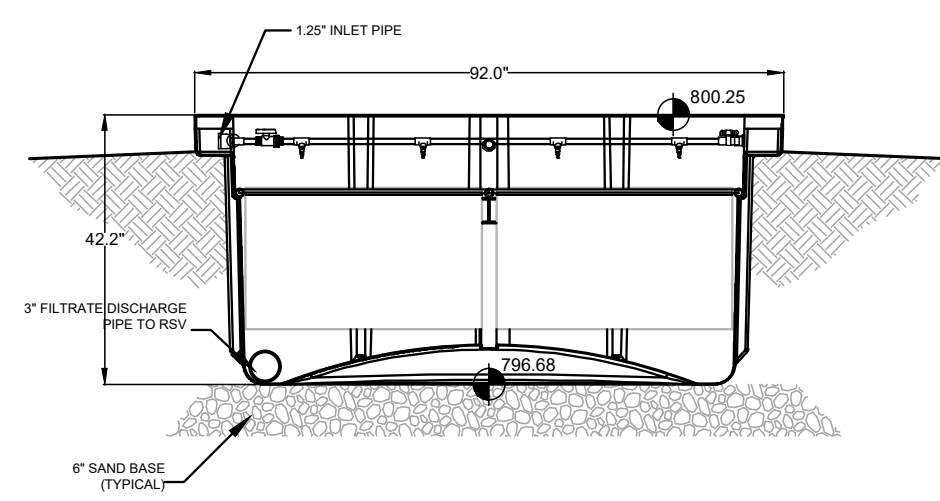
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 Scale: 1"=30 FT
 Contours: 1' CONTOURS
 Drawn: DMD
 Checked: DLM
 Project: 2022-07-21
 Job: 2022-07-21
 Sheet: **U-1**
 of 3 Sheets

* Float Functions & Pump Index

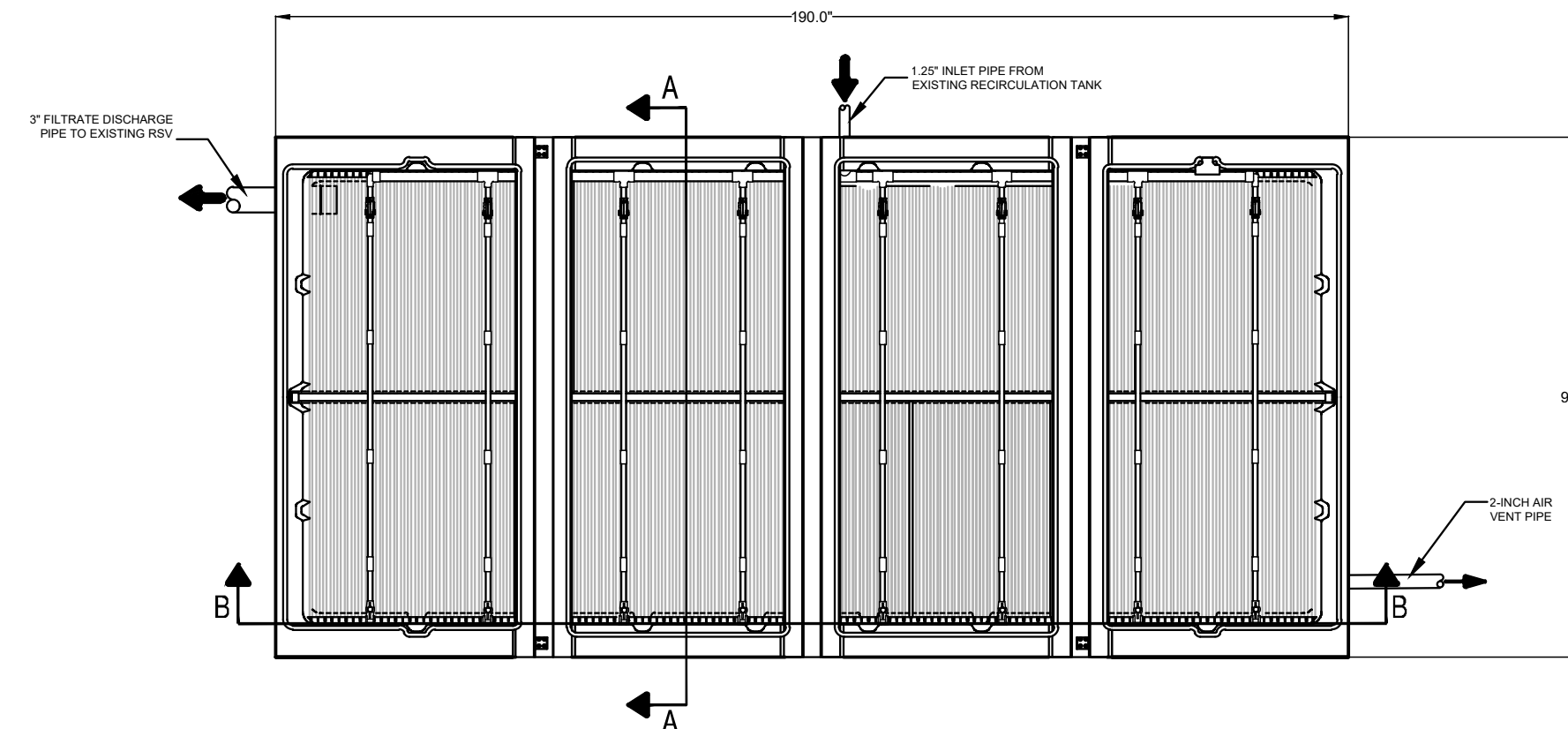
A	High Level Alarm / Lag Enable
B	Override Timer
C	Redundant Off / Low Level Alarm

Recirculation Pump (R1): Orenco PF5007-12
 Final Dosing Pump (D2): Goulds 3885 Model WE0120H
 S.T.E.P. Pump (D3 & S4): Orenco PF1005-12

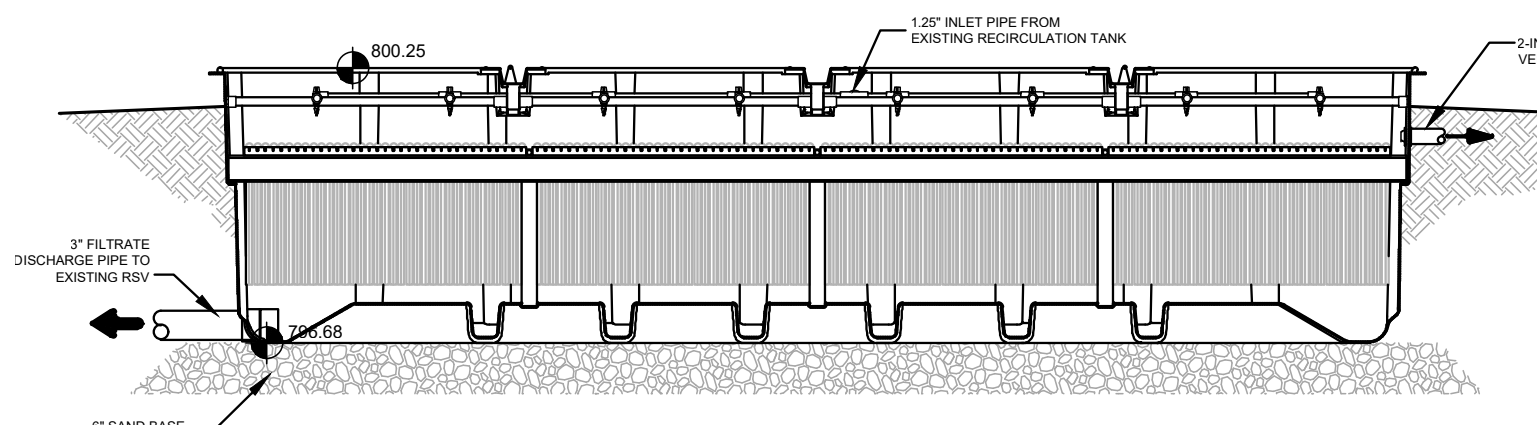
FLOAT SETTINGS
Not to Scale



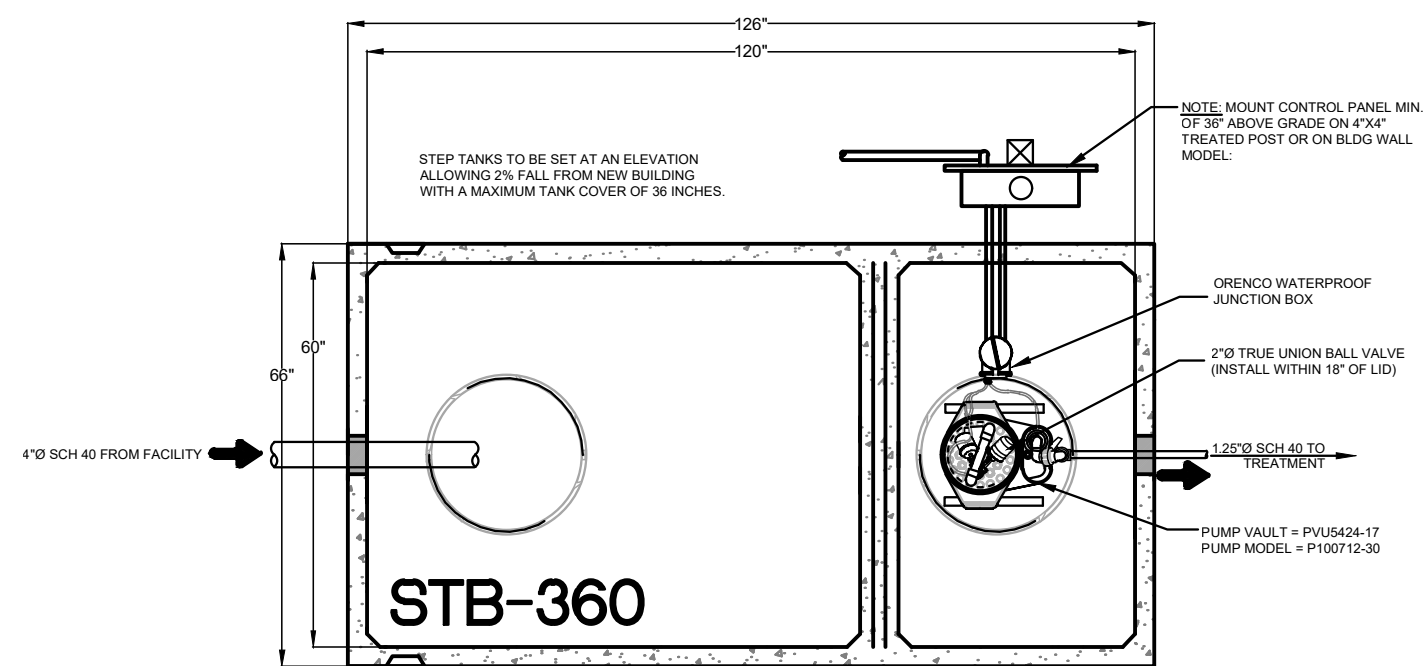
SECTION A-A ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



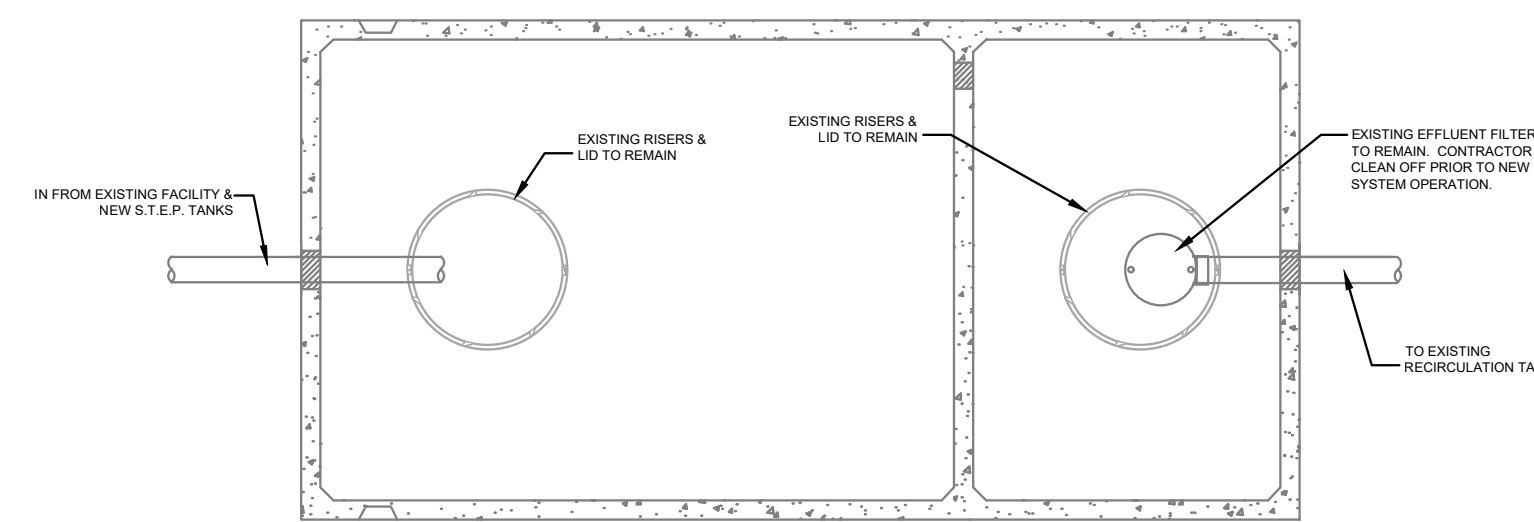
PLAN VIEW-ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



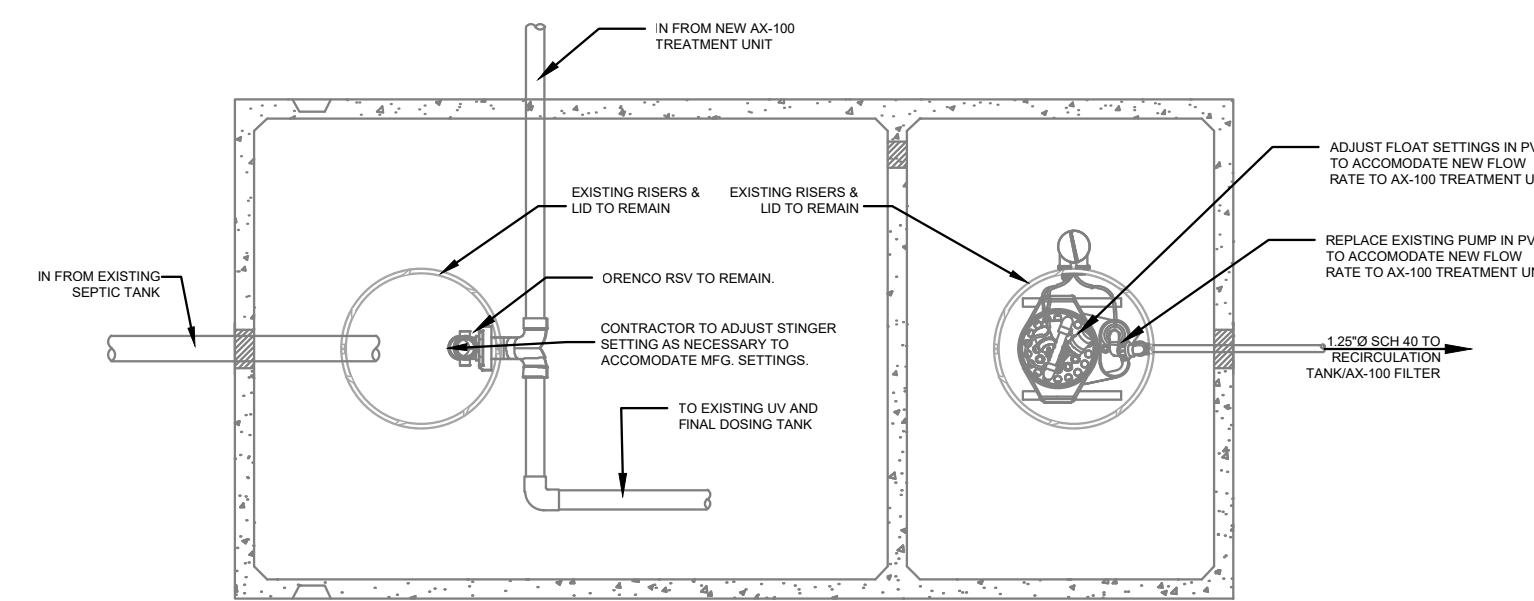
SECTION B-B ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



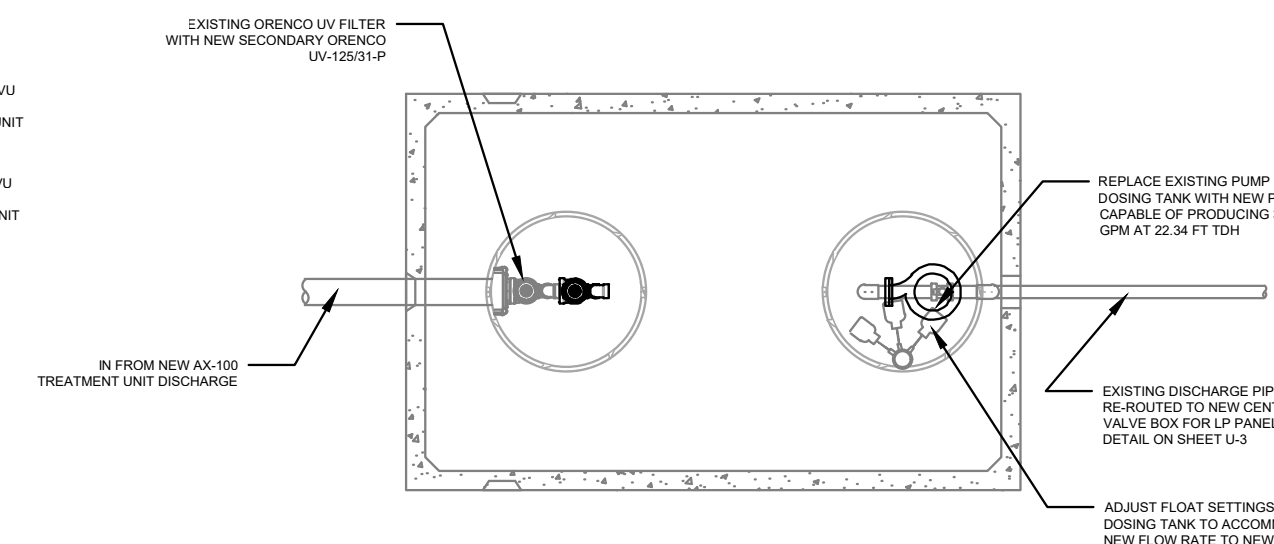
PLAN VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360



PLAN VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



PLAN VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale



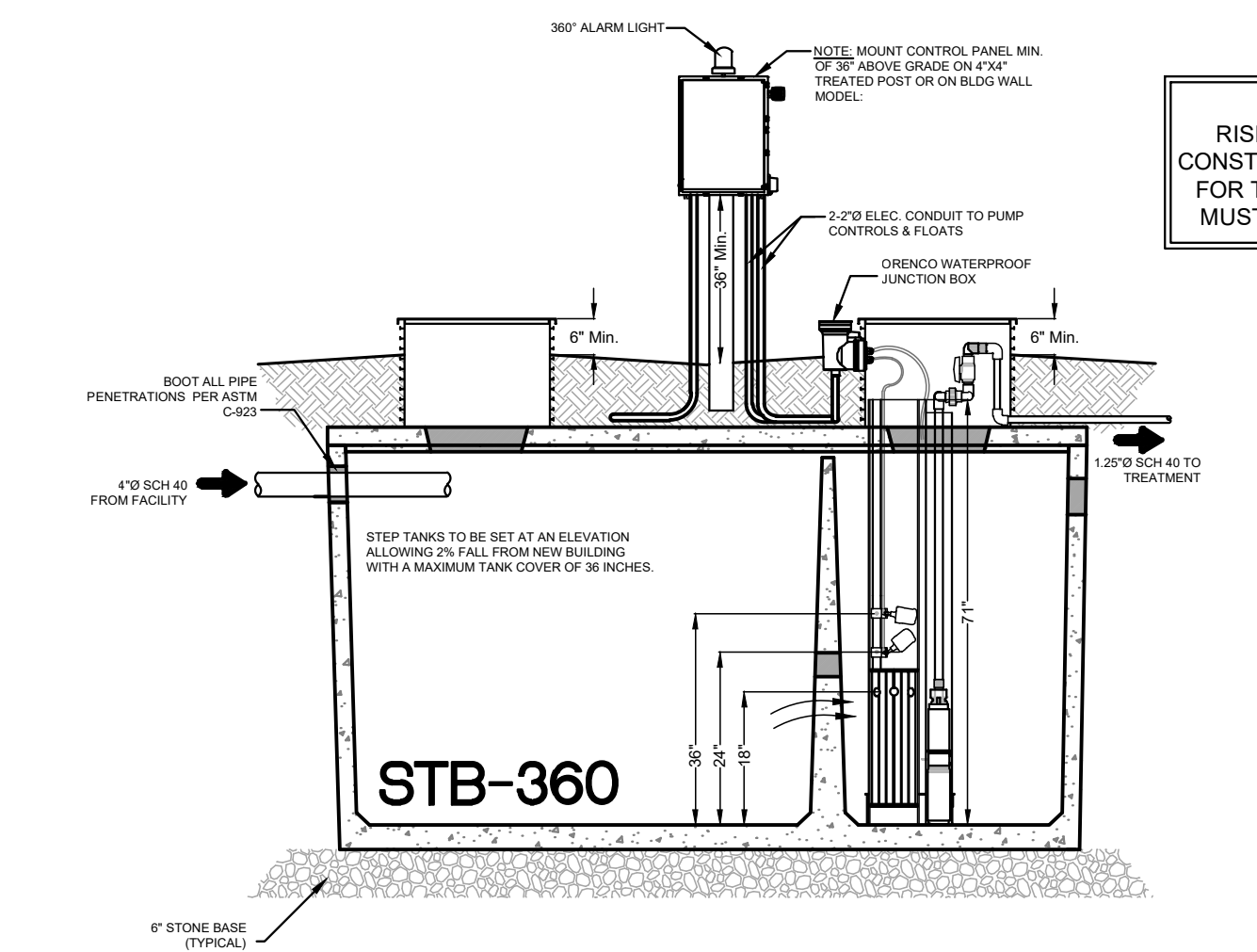
PLAN VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale

RISER & LID NOTES:
RISERS TO BE CAST IN PLACE AT TIME OF TANK CONSTRUCTION AND MEET THE REQUIRED APPROVAL FOR THE SPECIFIED RISER. ALL TANK ACCESS LIDS MUST HAVE BOLT DOWN OR LOCKING CAPABILITY.

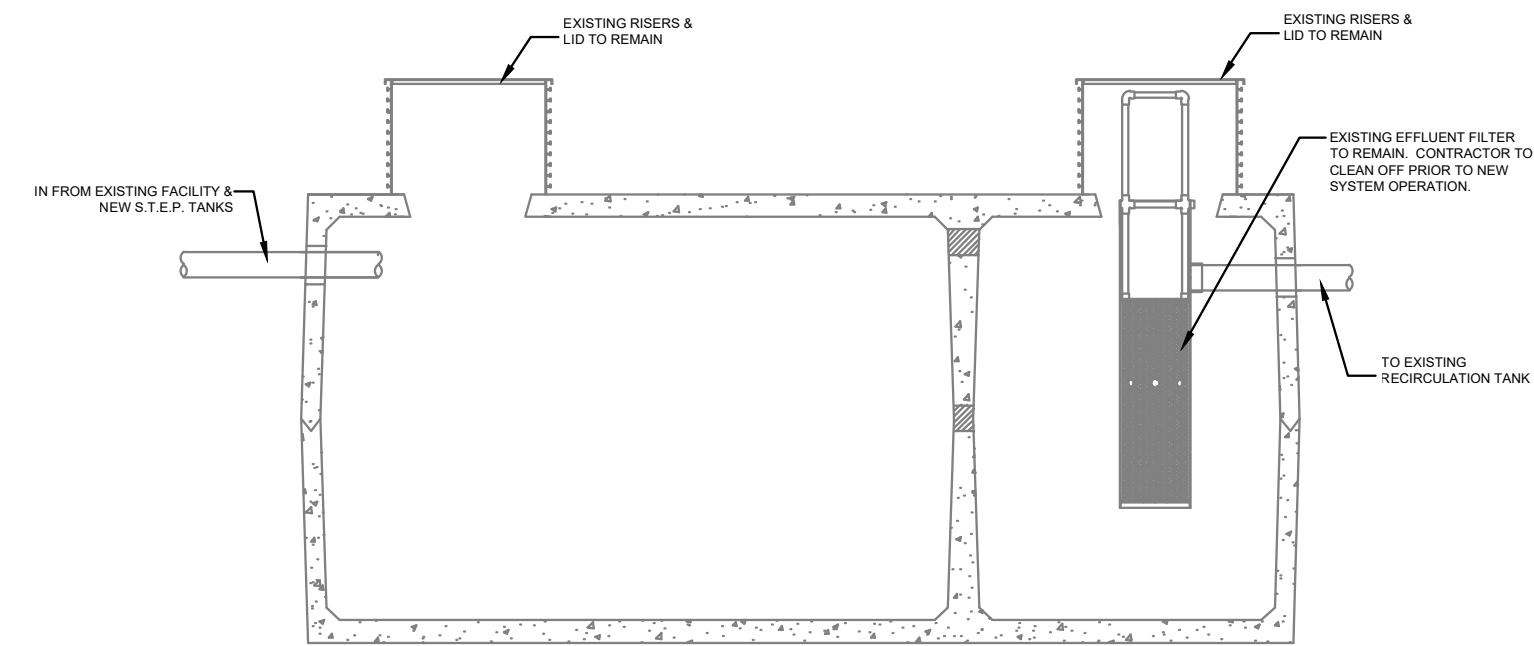
TANK ELEVATIONS

TANK DIMENSIONS & ELEVATIONS BASED ON SPOCA PRECAST CONCRETE COMPANY. ALL OTHER STATE APPROVED TANKS MAY BE SUBSTITUTED BUT NOT WITHOUT PRIOR APPROVAL FROM THE ENGINEER. CONTRACTOR SHALL VERIFY DIMENSIONS AND ADJUST GRADES AND FLOAT SETTINGS AS REQUIRED TO CAUSE FLOW AND DOSING AS CALLED FOR.

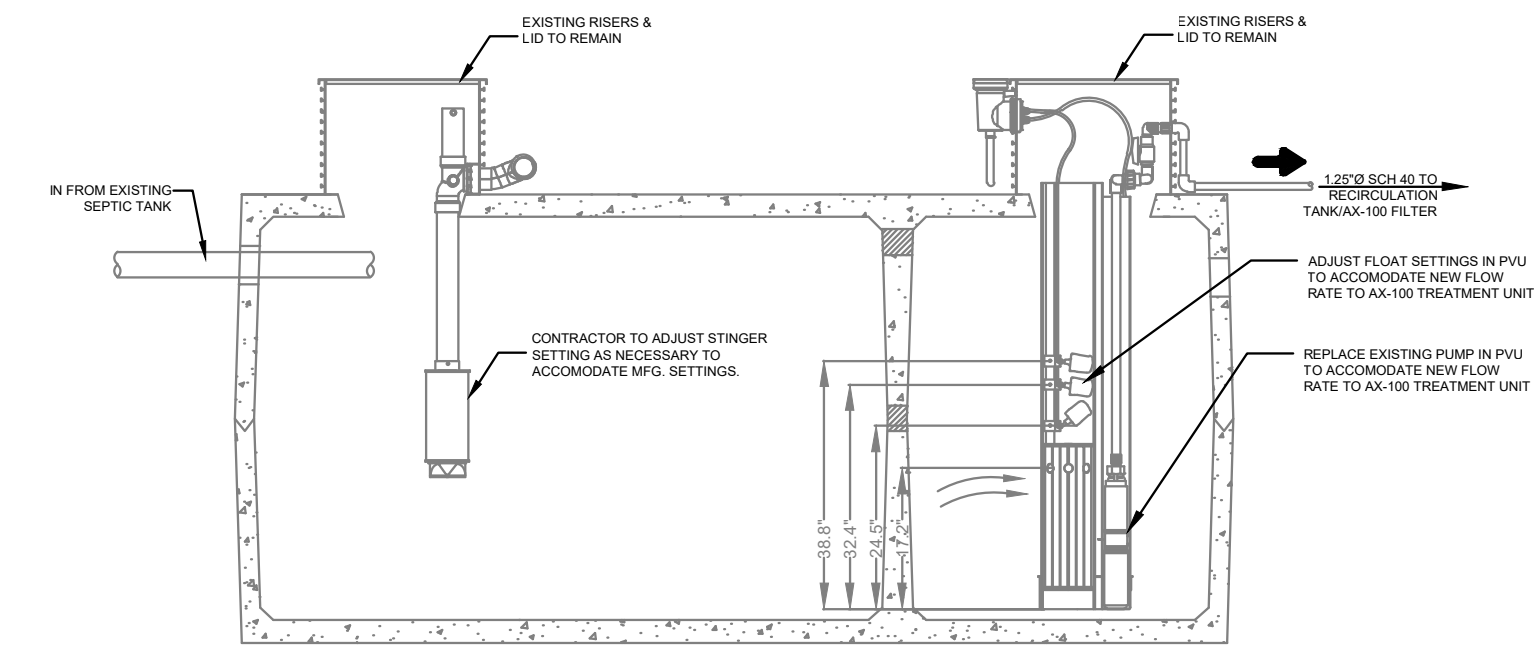
NOTE:
ALL GRAVITY PIPE BETWEEN TANKS SHALL BE SCH 40 PVC. MINIMUM SLOPE SHALL BE 2%.



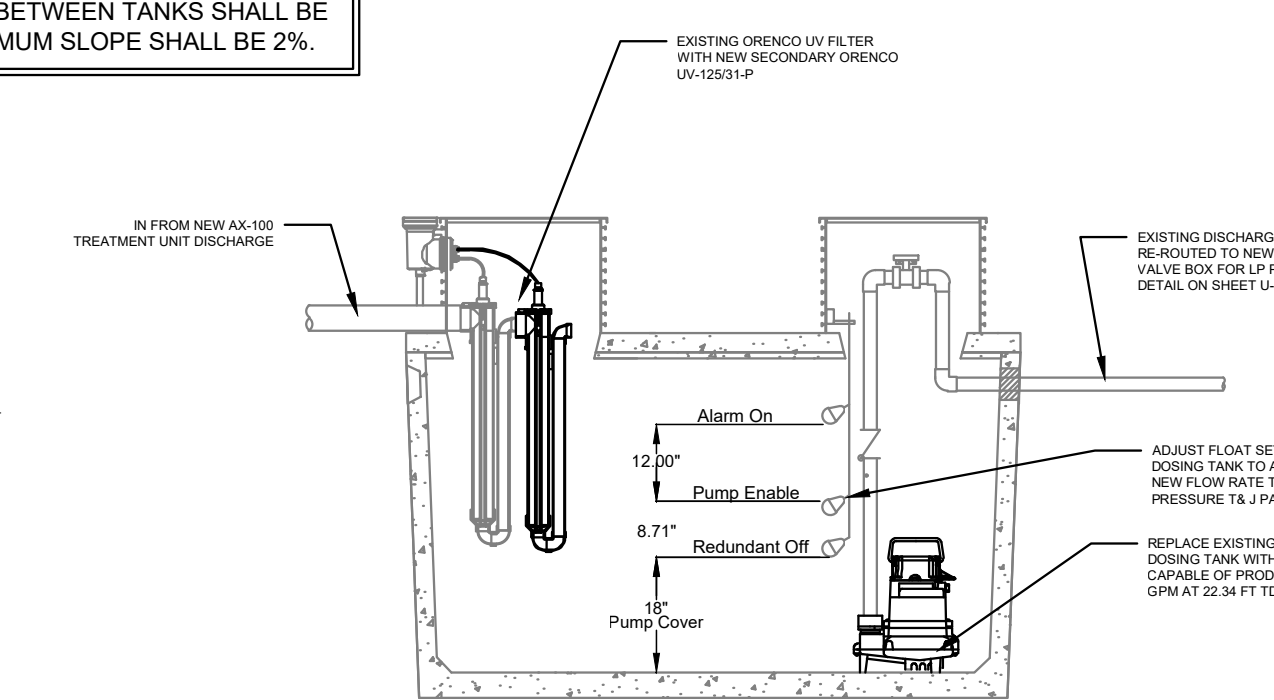
SECTION VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360



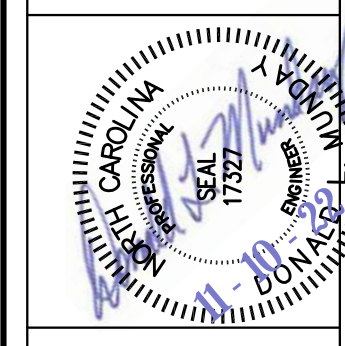
SECTION VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



SECTION VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale

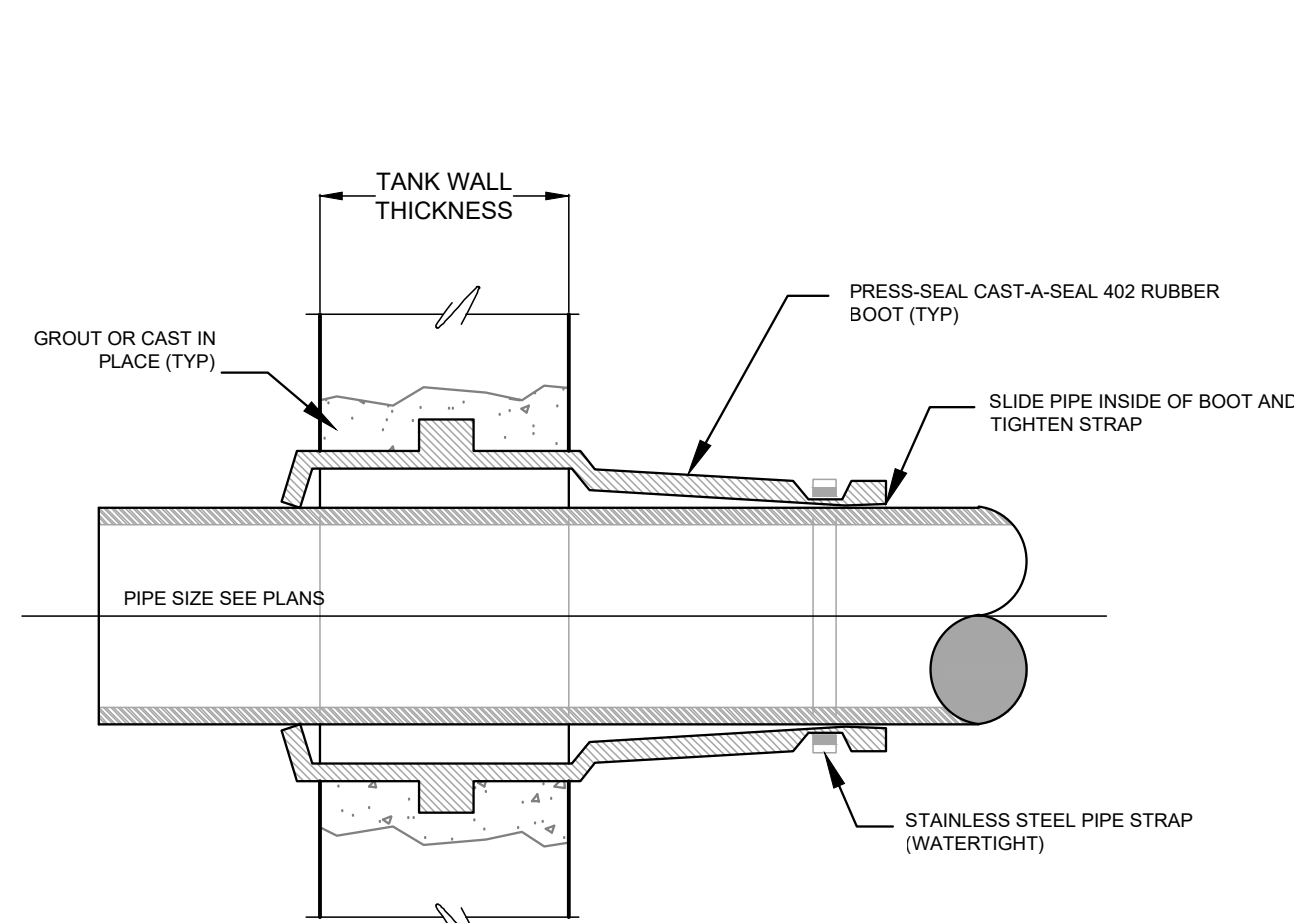


SECTION VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale



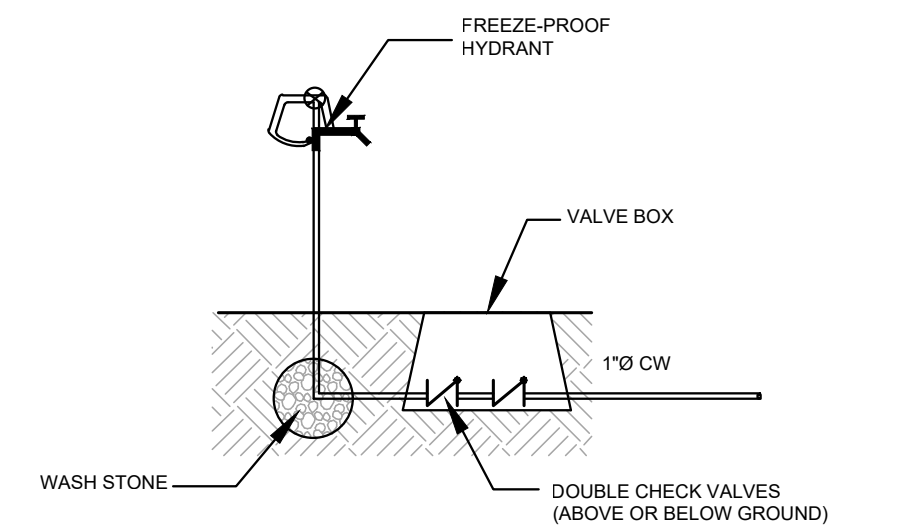
REVISIONS	BY

Date: 9/11/02/222
 Scale: AS SHOWN
 Drawn: DMD
 Checked: DLM
 Project: 2022-07-21
 Job: 2022-07-21
 Sheet: **U-2**



PIPE PENETRATION DETAIL

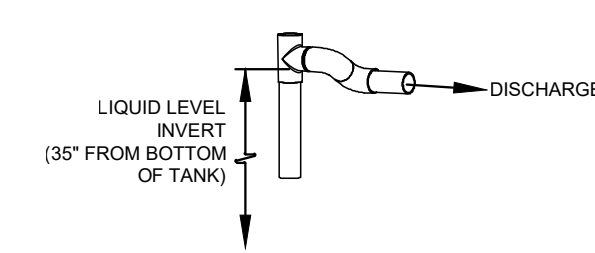
Not to Scale



YARD HYDRANT DETAIL

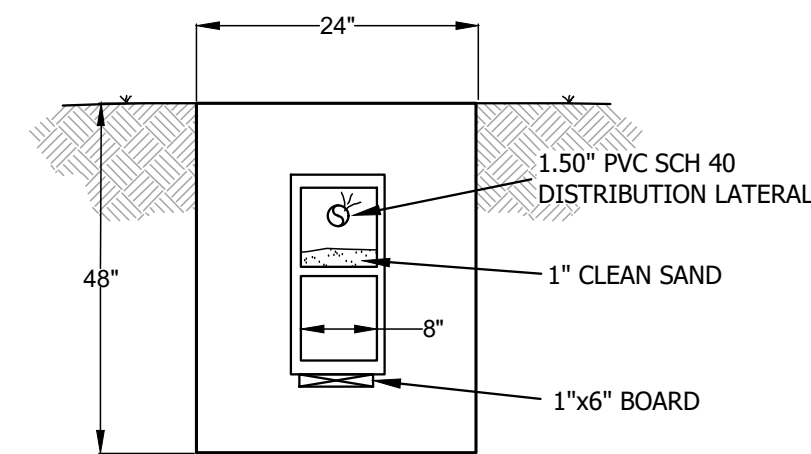
Not to Scale

Locate Greater Than 10 Feet From System Components



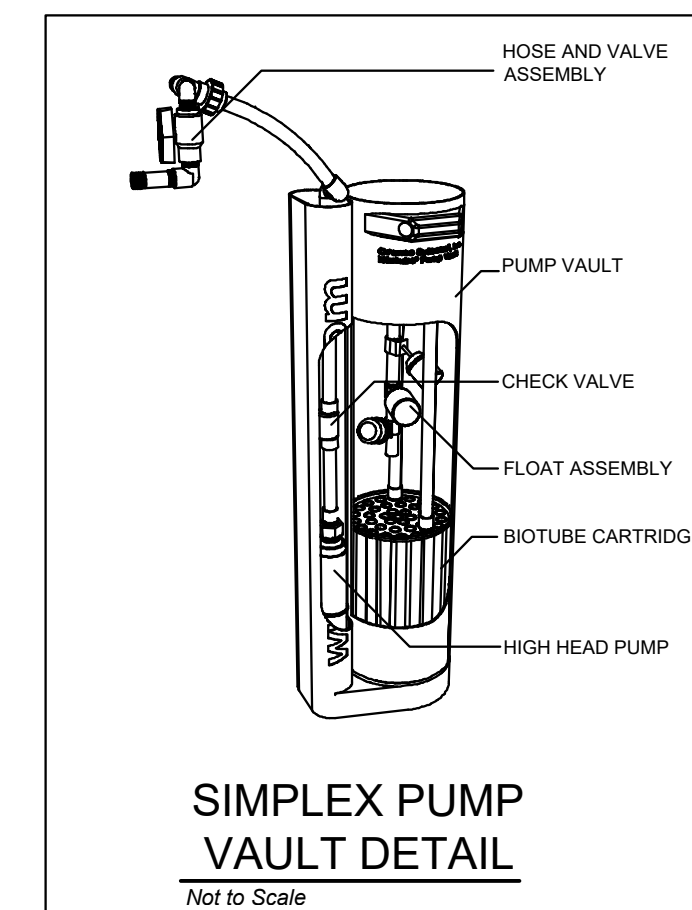
DISCHARGE DETAIL

Not to Scale



CUTAWAY OF PRESSURE PANEL

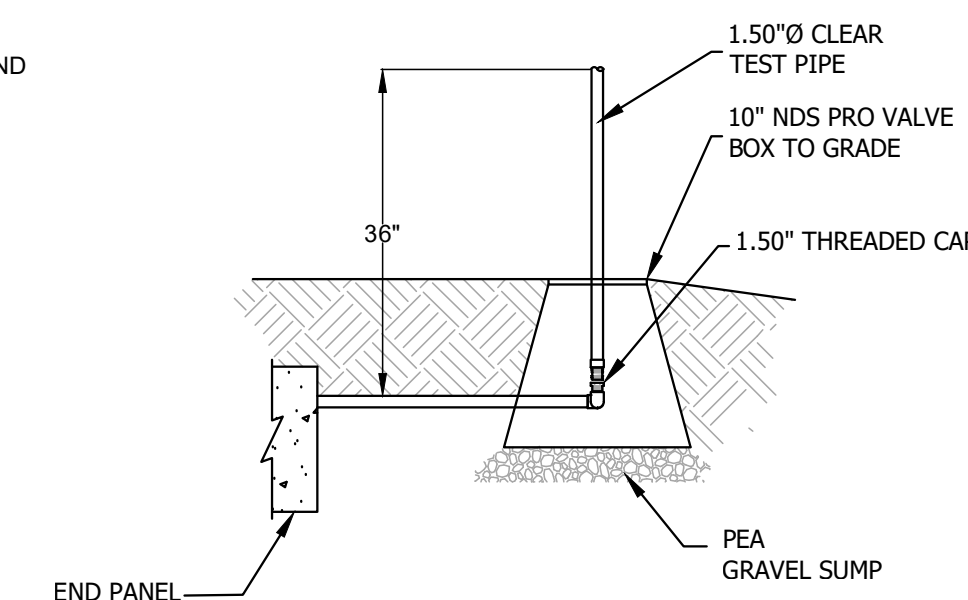
N.T.S.



SIMPLEX PUMP VAULT DETAIL

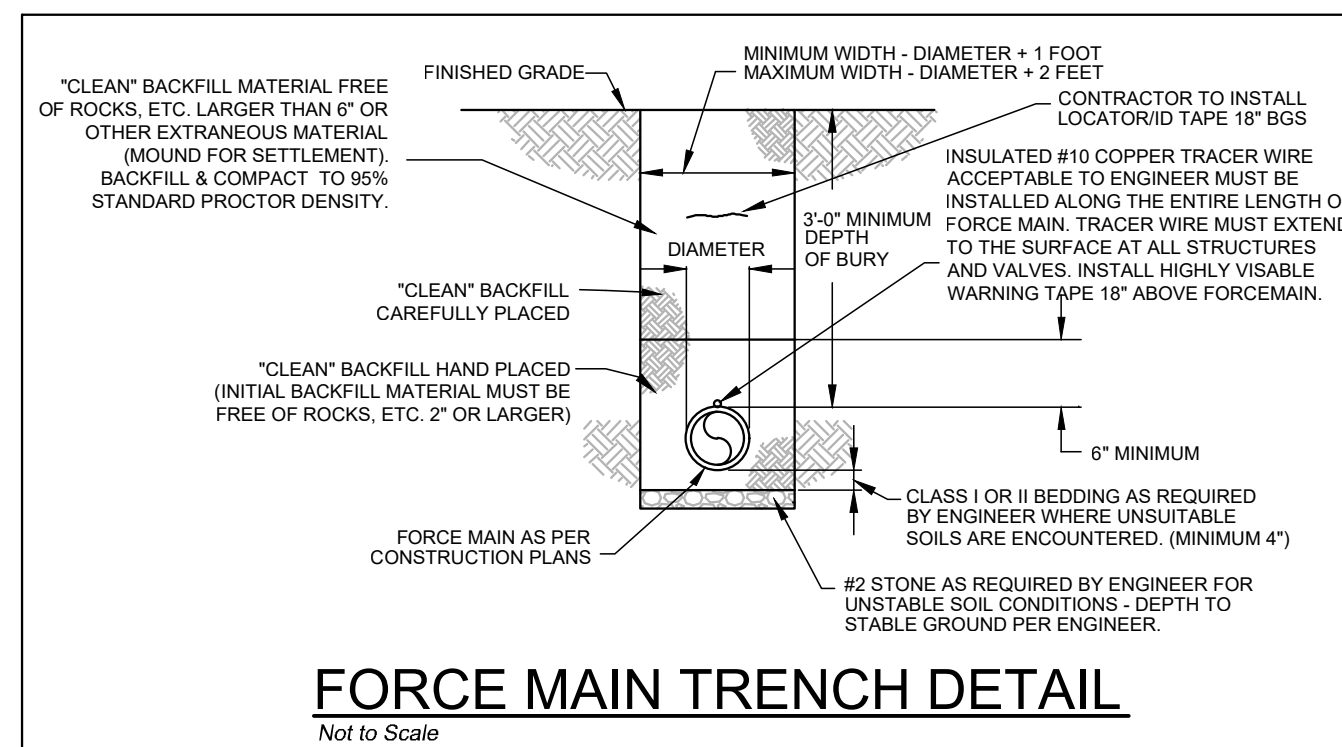
Not to Scale

NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



TURN UP DETAIL

N.T.S.

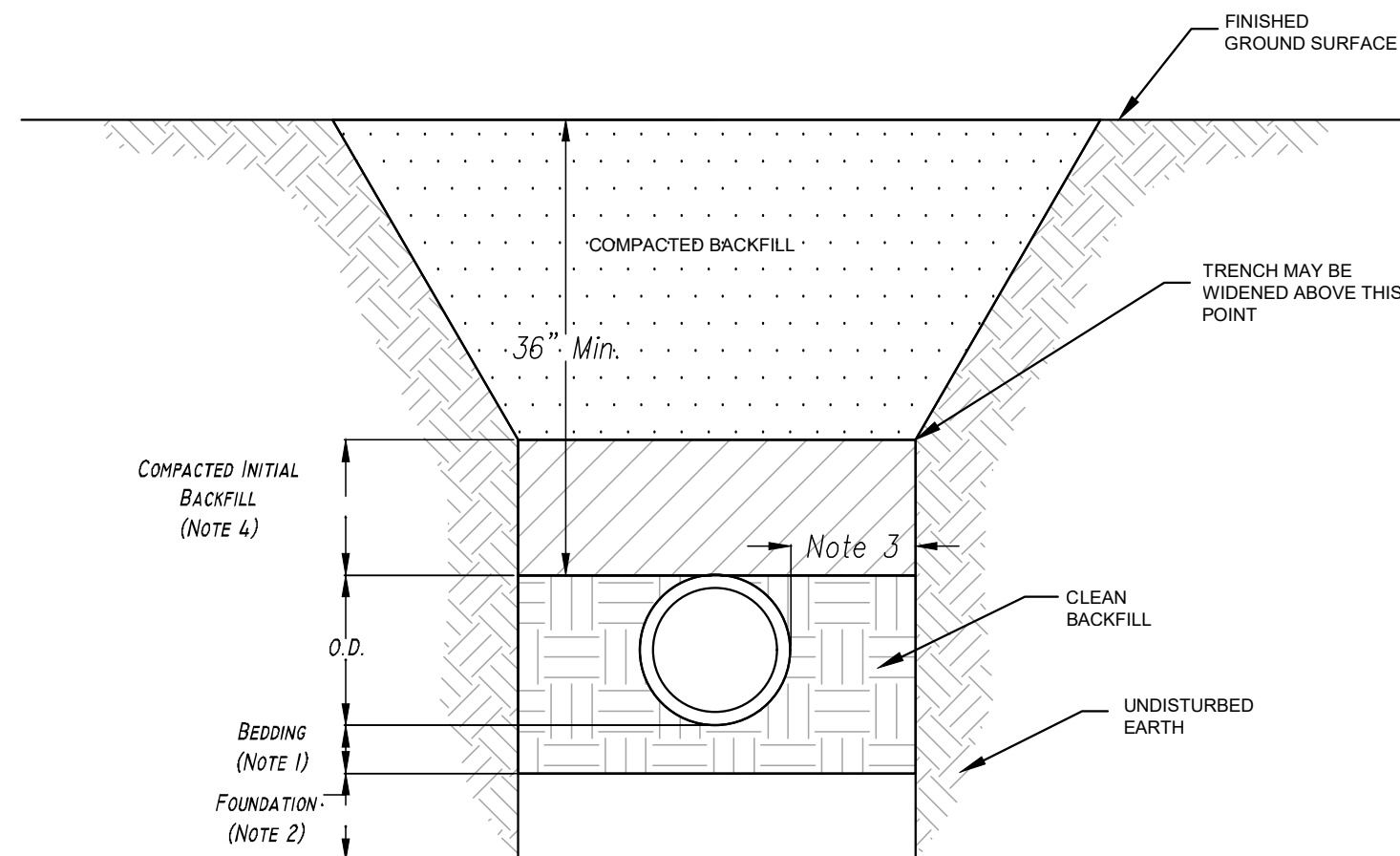


FORCE MAIN TRENCH DETAIL

Not to Scale

TRENCH NOTES:

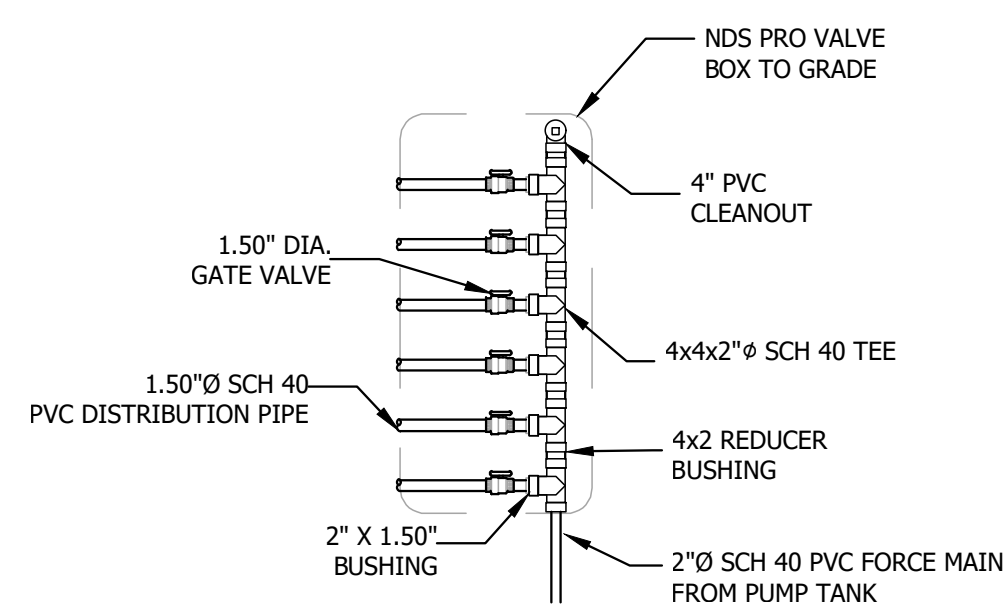
1. 4" TYPICAL, 5' DEPTH IF IN ROCK
2. FOUNDATION STONE REQUIRED WHEN SOIL CONDITIONS ARE UNSTABLE
3. CLEAR DISTANCE NOT LESS THAN 6' OR MORE THAN 12" ON EITHER SIDE
4. INITIAL BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED. INITIAL BACKFILL SHALL CONTAIN NO BACKFILL OVER 1.5" FROZEN LUMPS OR DEBRIS
5. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY
6. PVC PIPE SHALL BE SCH 40 PVC
7. DETAIL SHALL BE USED FOR ALL TRANSPORT PIPING TO AND FROM DISPOSAL AREA
8. SEE DETAIL FOR DUCTILE SLEEVE UNDER STREAM ON PLAN SHEET U-3



PVC SEWER PIPE BEDDING DETAIL

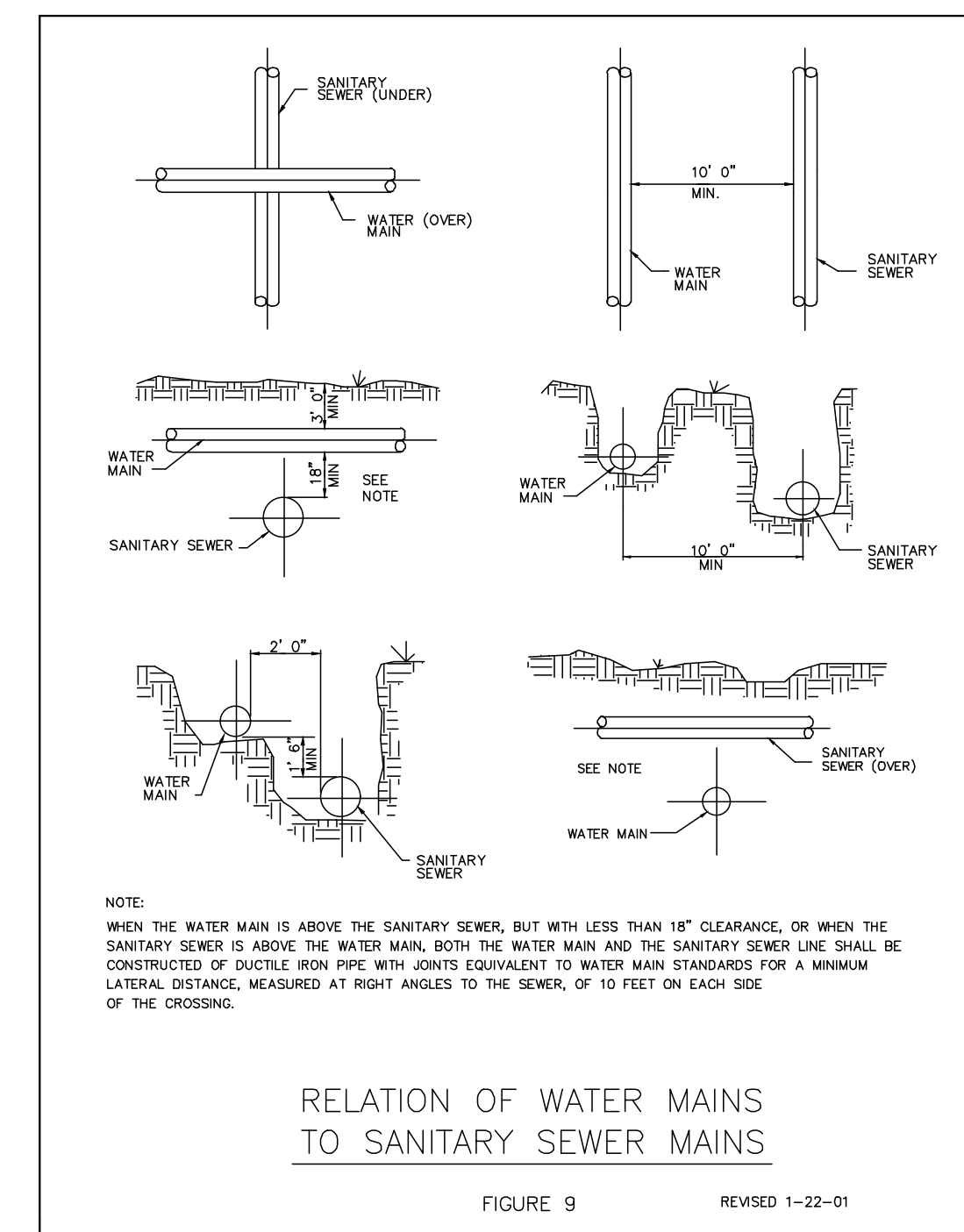
Not to Scale

NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



VALVE BOX DETAIL

N.T.S.



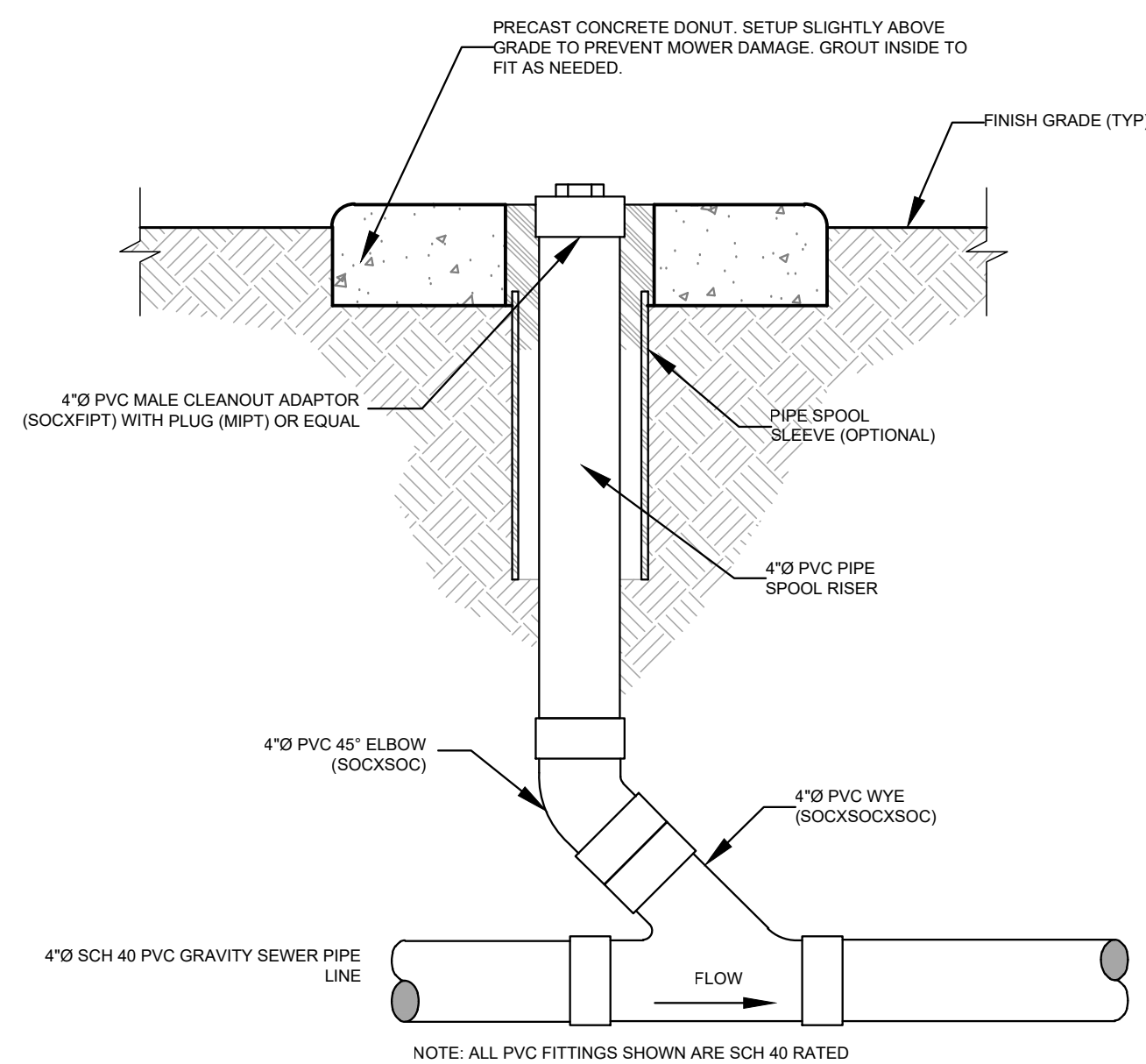
RELATION OF WATER MAINS TO SANITARY SEWER MAINS

FIGURE 9 REVISED 1-22-01

NOTE: WHEN THE WATER MAIN IS ABOVE THE SANITARY SEWER, BUT WITH LESS THAN 18" CLEARANCE, OR WHEN THE SANITARY SEWER IS ABOVE THE WATER MAIN, BOTH THE WATER MAIN AND THE SANITARY SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MINIMUM LATERAL DISTANCE, MEASURED AT RIGHT ANGLES TO THE SEWER, OF 10 FEET ON EACH SIDE OF THE CROSSING.

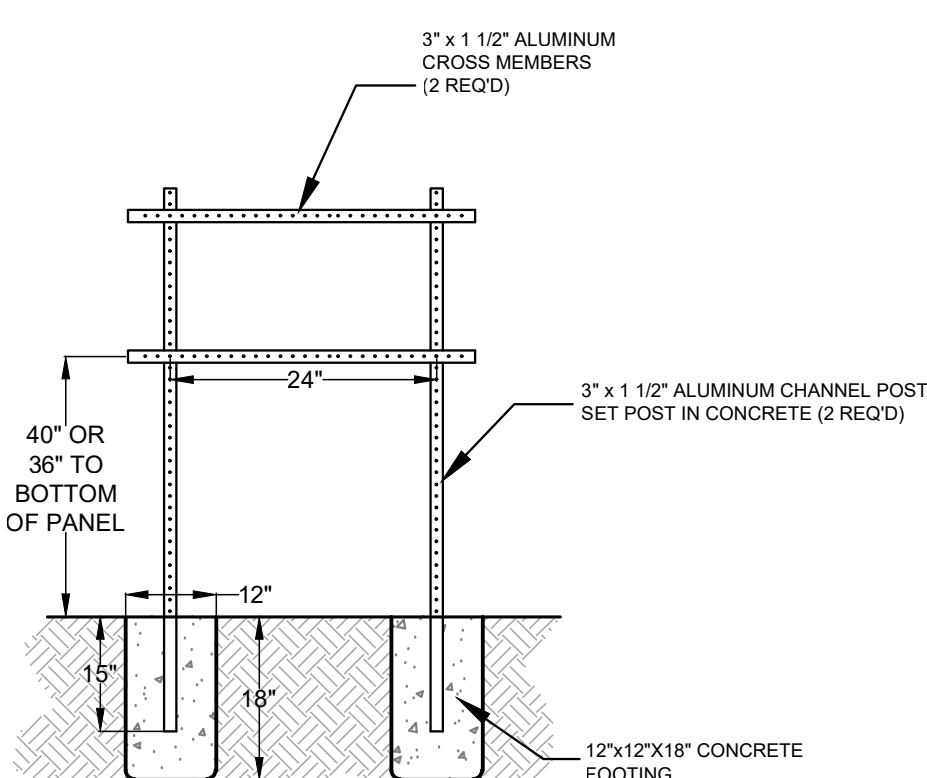
GENERAL NOTES:

1. NOTIFY UNDERGROUND UTILITIES LOCATOR PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND SUBCONTRACTORS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS, ELEVATIONS, AND LOCATION OF ALL EXISTING CONDITIONS AND UTILITIES.
2. ALL PIPING SHALL BE SCH 40 PVC UNLESS OTHERWISE NOTED ON PLANS. ALL PVC PIPES SHALL BE BURIED A MINIMUM OF 3 FEET UNLESS SHOWN OTHERWISE.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
4. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA, NCDOT, AND OTHER RELATED SAFETY REQUIREMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL CONSTRUCTION DAMAGE EXPEDITIOUSLY AND AT NO ADDITIONAL COST TO THE OWNER.
6. SEPTIC TANKS SHALL BE CONSTRUCTED WITH A BAFFLE WALL DIVIDING THE TANK INTERIOR 2/3rd TO 1/3rd. THE BAFFLE WALL SHALL BE CONSTRUCTED TO PERMIT PASSAGE OF EFFLUENT THROUGH A SLOT OR HOLES LOCATED BETWEEN 45 & 55 PERCENT OF THE INTERIOR DEPTH.
7. ALL TANKS SHALL HAVE A MINIMUM 28-DAY CONCRETE STRENGTH OF 4,500 PSI.
8. TANKS SHALL MEET REINFORCING REQUIREMENTS TO ACCOMMODATE 3,000 POUNDS PER SQ. FT. EITHER STEEL REINFORCING WIRE. REBAR OR APPROVED FIBER MAY BE USED.
9. ALL SERVICE ACCESS OPENINGS WILL BE A MINIMUM OF 24 INCHES.
10. ALL TANKS AND EFFLUENT FILTERS SHALL BE APPROVED BY ENGINEER. EFFLUENT FILTERS SHALL BE SIZED FOR DESIGN FLOW AND EXTEND DOWN TO 50-PERCENT OF LIQUID LEVEL.
11. ALL JOINTS (MID-SEAM, TOP-SEAM) SHALL BE SEALED USING CONCRETE SEALANTS BUTYL SEALANT # CS-102 MEETING ASTM C-990.
12. TANKS SHALL BE LEAK-TESTED PRIOR TO SYSTEM START UP BY APPLYING A VACUUM OF 5-INCHES OF MERCURY WITH RISER ASSEMBLIES IN PLACE OR WITH APPROVAL BY ENGINEER. A 24-HOUR STATIC WATER TEST IN ACCORDANCE WITH ASTM STANDARDS.
13. ALL PIPE PENETRATIONS THROUGH PRECAST CONCRETE TANKS SHALL BE PRESS-SEAL CAST-A-SEAL 402 RUBBER BOOTS AND GROUTED.
14. ALL TANK RISERS AND LIDS SHALL BE A MINIMUM OF 6" ABOVE THE FINISHED GRADE.
15. ALL METAL INSTALLED IN TANKS SHALL BE STAINLESS STEEL.
16. ALL MANHOLES NOT INSTALLED NOT IN TRAFFIC AREAS SHALL HAVE BOLT DOWN LIDS. LIDS SHALL BE 6" MINIMUM ABOVE FINISHED GRADE.
17. CONTROL PANELS SHALL BE INSTALLED A MINIMUM OF 36 INCHES FROM FINISHED GRADE TO BOTTOM OF PANEL BOX. SEAL OFF ALL CONDUITS BETWEEN TANKS AND PANEL.



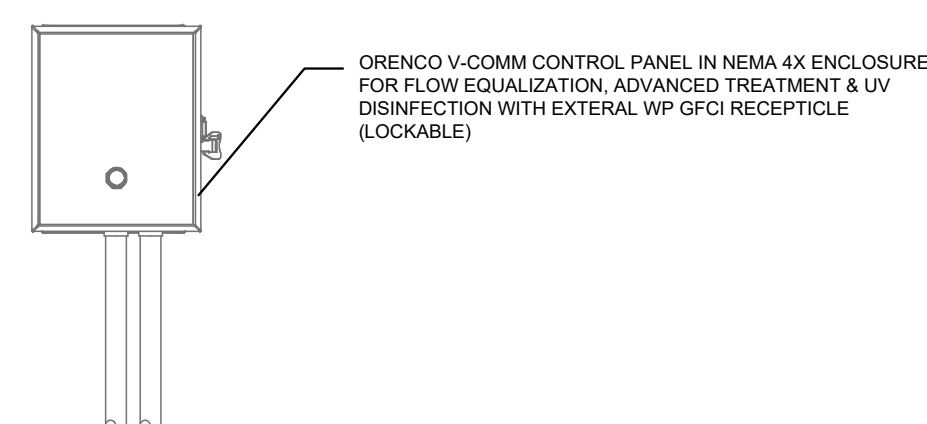
CLEANOUT DETAIL

Not to Scale



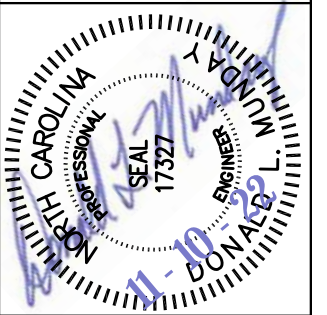
PANEL MOUNTING RISER

Not to Scale



CONTROL PANEL DETAIL

Not to Scale



REVISIONS	BY

Date: 11/02/22
AS
Scale: SHOWN
Drawn: DMD
Checked: DLJ
Project: 2022-07-21
Job: 2022-07-21
Sheet
U-3