



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, JANUARY 13, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD WEDDINGTON, NC 28104
AGENDA**

1. Call to Order
2. Determination of Quorum
3. Pledge of Allegiance
4. Additions, Deletions and/or Adoption of the Agenda
5. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
6. Mayor/Councilmember Reports
7. Public Comments
8. Public Safety Report
9. Consent Agenda
 - A. Approve December 9, 2024 Town Council Regular Meeting Minutes
 - B. Release of Phase 1 Map 2 Bond for Harlow’s Crossing Subdivision in the amount of \$333, 387.50.
10. New Business
 - A. Application by ODA Architecture on behalf of Polivka International requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road
 - i. Public Hearing
 - ii. Discussion and Consideration
 - B. Text Amendment 2025-01 to the Town of Weddington Unified Development Ordinance Section D-917A.J Cul-de-sacs
 - i. Public Hearing
 - ii. Discussion and Consideration
 - C. Discussion of Scheduling Council Retreat Workshop
11. Code Enforcement Report
12. Update from Finance Officer and Tax Collector
13. Updates from Town Planner and Town Administrator
14. Transportation Report
15. Council Comments
16. Adjournment



Union County Sheriff's Office
Events By Nature

Date of Report

1/1/2025

11:48:14AM

For the Month of: December 2024

<u>Event Type</u>	<u>Total</u>
911 HANG UP	51
ABANDONED VEHICLE	2
ACCIDENT BRAVO	2
ACCIDENT DELTA	1
ACCIDENT EMD	2
ACCIDENT HITRUN PD LAW	3
ACCIDENT PD ONLY	26
ACN BRAVO	1
AIRCRAFT EMERGENCY EFD	1
ALARMS LAW	55
ANIMAL COMP SERVICE CALL LAW	11
ASSAULT	2
ASSIST EMS OR FIRE	1
ASSIST OTHER AGENCY LAW	1
ATTEMPT TO LOCATE	3
BURGLARY HOME OTHER NONBUSINESS	2
BURGLARY VEHICLE	1
BUSINESS CHECK	38
CARDIAC RESPIRATORY ARREST EMD	1
CARELESS AND RECKLESS	22
DISTURBANCE OR NUISANCE	5
DOMESTIC DISTURBANCE	5
ESCORT	3
FOLLOW UP INVESTIGATION	19
FOOT PATROL	10
FRAUD DECEPTION FORGERY	4
FUNERAL ESCORT	5
HARASSMENT STALKING THREATS	5

<u>Event Type</u>	<u>Total</u>
ILLEGAL DUMPING LITTERING	1
IMPROPERLY PARKED VEHICLE	1
INTOXICATED DRIVER	1
INVESTIGATION	14
INVOLUNTARY COMMITMENT	1
JURISDICTION CONFIRMATION LAW	1
LARCENY THEFT	6
MENTAL DISORDER	1
MOTORIST ASSIST	2
NOISE COMPLAINT	9
POISONING EMD	1
PREVENTATIVE PATROL	573
PROP DAMAGE VANDALISM MISCHIEF	4
PUBLIC SERVICE	1
RADAR PATROL INCLUDING TRAINIG	11
REFERAL OR INFORMATION CALL	7
REPOSESSION OF PROPERTY	1
RESIDENTIAL CHECK	5
SERVE CIVIL PAPER	15
SERVE DOMESTIC VIOL ORDER	6
SERVE WARRANT	2
SHOTS FIRED	1
SMALL VEHICLE FIRE	1
STRUCTURE FIRE EFD	2
SUICIDE THREAT	5
SUSPICIOUS CIRCUMSTANCES	8
SUSPICIOUS PERSON	8
SUSPICIOUS VEHICLE	13
TRAFFIC DIRECT CONTROL	1
TRAFFIC HAZARD	14
TRAFFIC STOP	110
TRESPASSING	1

<u>Event Type</u>	<u>Total</u>
WANTED PERSON	3
WELL BEING CHECK	8

Total Calls for Month: 1,120

Weddington

12/2024

UCR Code	Description	Date of Report	Incident ID	
13B				
13B	SIMPLE ASSAULT	12/3/24	202409373	
			Total:	1
13C				
13C	COMMUNICATING THREATS	12/11/24	202409607	
13C	COMMUNICATING THREATS OF MASS VIOLENCE	12/12/24	202409644	
13C	COMMUNICATING THREATS OF MASS VIOLENCE	12/16/24	202409773	
			Total:	3
23F				
23F	BEL / THEFT FROM MOTOR VEHICLE	12/20/24	202409911	
			Total:	1
23H				
23H	LARCENY-FELONY	12/3/24	202409379	
23H	LARCENY-MISDEMEANOR	12/5/24	202409438	
23H	LARCENY-MISDEMEANOR	12/11/24	202409620	
23H	LARCENY-MISDEMEANOR	12/18/24	202409860	
			Total:	4
26A				
26A	OBTAINING PROPERTY BY FALSE PRETENSES	12/16/24	202409790	
26A	OBTAINING PROPERTY BY FALSE PRETENSES	12/19/24	202409891	
26A	IDENTITY THEFT	12/26/24	202410034	
			Total:	3
290				
290	INJURY TO REAL PROPERTY	12/2/24	202409333	
			Total:	1
35A				
35A	SIMPLE POSSESS SCH IV C/S	12/12/24	202409647	
35A	POSSESS SCH VI CS	12/12/24	202409655	
			Total:	2
35B				
35B	POSSESS MARIJ PARAPHERNALIA	12/12/24	202409647	
			Total:	1
90D				
90D	DRIVING WHILE IMPAIRED	12/1/24	202409316	
			Total:	1
90F				
90F	VIOLATION DOMESTIC VIOLENCE PROTECTION (12/20/24	202409904	
90F	VIOLATION DOMESTIC VIOLENCE PROTECTION (12/20/24	202409904	

Weddington

12/2024

UCR Code	Description	Date of Report	Incident ID	
			Total:	2
999				
999	DOMESTIC	12/1/24	202409327	
999	ACCIDENT NO VISIBLE INJURY	12/2/24	202409337	
999	CALL FOR SERVICE	12/2/24	202409358	
999	ACCIDENT NO VISIBLE INJURY	12/4/24	202409395	
999	ACCIDENT NO VISIBLE INJURY	12/5/24	202409424	
999	ACCIDENT NO VISIBLE INJURY	12/5/24	202409428	
999	ACCIDENT SERIOUS	12/5/24	202409433	
999	INVESTIGATION	12/6/24	202409457	
999	ACCIDENT NO VISIBLE INJURY	12/6/24	202409482	
999	ACCIDENT NO VISIBLE INJURY	12/6/24	202409483	
999	ACCIDENT NO VISIBLE INJURY	12/7/24	202409510	
999	ACCIDENT NO VISIBLE INJURY	12/9/24	202409537	
999	ANIMAL CALL	12/9/24	202409538	
999	ACCIDENT NO VISIBLE INJURY	12/11/24	202409618	
999	ACCIDENT NO VISIBLE INJURY	12/12/24	202409638	
999	NO LIABILITY INSURANCE	12/12/24	202409647	
999	SPEEDING	12/12/24	202409647	
999	EXPIRED INSPECTION	12/12/24	202409647	
999	ACCIDENT NO VISIBLE INJURY	12/17/24	202409803	
999	INVESTIGATION	12/17/24	202409817	
999	ANIMAL CALL	12/18/24	202409857	
999	ANIMAL CALL	12/19/24	202409900	
999	ACCIDENT NO VISIBLE INJURY	12/20/24	202409910	
999	OVERDOSE	12/29/24	202410118	
999	ACCIDENT NO VISIBLE INJURY	12/31/24	202410156	
			Total:	25
9999				
9999	MENTAL HEALTH INVESTIGATION	12/17/24	202409823	
			Total:	1

Monthly Crime Total

45



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, DECEMBER 9, 2024 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
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1. Call to Order

Mayor Bell called the meeting to order at 7:00 p.m.

2. Determination of Quorum

Quorum was determined with all Councilmembers present. Mayor Jim Bell, Mayor Pro Tem Tom Smith, Councilmembers Jeff Perryman, Brannon Howie, and Darcey Ladner were all present.

Staff present: Town Administrator/Clerk Karen Dewey, Admin Assistant/Deputy Clerk Debbie Coram, Finance Officer Leslie Gaylord, Town Attorney Karen Wolter, Deputy Grant Wrenn

Visitors: Gayle Butler, Chad Emerine, Melissa Emerine, Mike Morse, Julie Staley, Nancy Anderson, Jack Braman, Jane Pratt, Walt Hogan, Muhammed Syad, Kimberly Church, Mark Wilson, Iftikhar Jan, Bishop Beall, D.I. von Briesch, Bobby Washington, Gina Ryah, Frank Aiello, Bill Deter, Phyllis Pincus, Todd Pfalzgraf, David Arno, Katharine Arno, Saira Naim, Mohammed Yanes, Jamael Siddrei, Aaisha Hague, Suhail Niazi, Nabeel Rana, Atif M

3. Pledge of Allegiance

Council led the Pledge of Allegiance.

4. Additions, Deletions and/or Adoption of the Agenda

Staff requested to remove item 11.A. New Business - Application by ODA Architecture on behalf of Polivka International requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road from the agenda as the required statutory notices were not delivered to adjoining property as required by GS160D-602 so the Town will be unable to hold the public hearing. Staff also requested to add item number 9. Pre-Application Presentation from the Rahma Center of Charlotte for a Conditional Zoning Application for religious use at 7112 New Town Road and item E. to the Consent Agenda to approve an amendment to the contract to audit town accounts.

Motion: Mayor Pro Tem Smith made a motion to approve the agenda as amended.

Vote: The motion passed with a unanimous vote.

- 5. Conflict of Interest Statement:** *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Mayor Bell read the Conflict of Interest. No Councilmember had a conflict of interest.

6. Mayor/Councilmember Reports

Councilmember Perryman: Apologized for the cancelation of the November WUMA meeting. January 23rd will be the next WUMA meeting in Waxhaw. There is no agenda yet. The Union County Legislative Delegation has been invited to the meeting. Councilmember Perryman discussed the BRAKES teen driving program, “Be Responsible and Keep Everyone Safe”.

Mayor Pro Tem Smith: NCDOT will be creating a paving list for areas with future projected paving of neighborhood roads.

Councilmember Ladner: The next TreesUnion meeting is on January 14, 2025 at Wesley Chapel. The planning board subcommittee is working on an ordinance preserving heritage trees.

7. Public Comments

Chad Emerine – 953 Eagle Road – Commented on planning board recommendations of projects. Commented on standards and projects.

8. Public Safety Report

Deputy Wrenn gave the public safety report. Accidents went to 32 from 28. Alarms and burglaries rose. Domestic disturbance increased.

Foot patrols up to 20. Walking neighborhoods. Preventive patrols to 714. Traffic stops – 1163 calls for service for November.

Mayor is trying to set up a multi-municipal public safety meeting when the timing is right with the UCSO.

Ms. Dewey gave a report on the UCSO Dangerous Driving Reduction Traffic Enforcement Operation on Providence Road near Weddington Road on December 3, 2024. The operation ran from 9 AM to 3 PM, and involved several deputies, including Deputy Grant Wrenn, Deputy Taylor Gordon, Deputy Joe West, Deputy Jay Murray, Deputy Zack Charles, Deputy Parker, Lt. Maye, and Chief Deputy Underwood. During the operation, over 50 traffic stops were made, resulting in 65 citations or written warnings. One vehicle was towed due to a fictitious plate and no insurance. It was reported that the motorists stopped were extremely apologetic and thankful to the deputies for their guidance and proactive efforts in the operation. Deputy Grant Wrenn was the lead planner for this operation and conducted a pre-event briefing to ensure that the objectives were clearly

communicated to all involved. LT. Maye was sure to recognize Deputy Wrenn for his efforts in organizing this operation, which was carried out efficiently and with great success.

9. Pre-Application Presentation from the Rahma Center of Charlotte for a Conditional Zoning Application for Religious Use at 7112 New Town Road

Imam Atif, Religious Director, gave a brief background on the Rahma Center and the need for this space at 7112 New Town Road for the Muslim community. To establish a place to serve the community to be safe and add value to Weddington and the surrounding community. They are currently meeting at Marvin Eford Park.

Imam Atif reviewed the property location: 7.7 acres with buildings that will be easy to retrofit existing buildings. The barn will be established as place of worship. Applicants are committed to property to have an accessible place to worship for their community. They will perform due diligence to make property safe and meet concerns brought up at community meetings.

Mr. Juan Blue with Chicora Design Consultants: applicants have evaluated the property and will bring buildings up to code with sprinkler systems without making dramatic changes to the existing building that would take away from the aesthetics.

Traffic study being completed. They are moving forward with a traffic impact analysis and will confirm format and all included information needed with the town engineer.

Reached out to Union County Environmental Health for septic inspection. There are two separate systems currently on property, one engineered and one traditional. Applicant has reached out to soil engineer to check possibility of expanding systems as changes in building are made. Also reached out to county about extending the sewer system as it is only 1200 feet away. In the long term, that may be better option. Applicants are working on proposal for that potential. With the TIA, they will submit application to NCDOT for a driveway and it will be determined then if there are mitigation actions to be made.

Public Comment:

Nabeel Rana – Meadow Sweet Lane: Mr. Rana has been a Skycroft resident for about 10 years. His family loves the community and has three kids in Weddington schools. Mr. Rana is missing a place of worship in the local area. He commented on the challenge of the closest Mosque being about 30 minutes away. Mr. Rana grew up in small town with no place to worship. He stated that this project will be a tremendous benefit to the town.

Suhail Niazi – Weddington Trace: Mr. Niazi lives in the community with his family. He commented on hoping to have a worship place nearby. He wanted to state that Muslims are just like everybody else.

Chad Emerine: Aero Plantation: Mr. Emerine commented on safety concerns. It's a treacherous spot at an intersection with blind curves. He stated that he attended community meetings and shared information from previous owner regarding issues with the property. He stated his respect for the Rahma Center but believes this is a troubling spot.

Jamie Pratt: Aero Plantation. Ms. Pratt serves on the Board of Directors for the Aero Plantation HOA. She stated her concerns about the project: this commercial type use isn't compatible with the

surrounding area, traffic, lighting, sports fields and special events. She is concerned about the storm runoff, no planned road improvements. She asked that if Council considers approval, please consider requiring road improvements.

Gayle Butler - Wellington Place: Ms. Butler thanked Mayor Bell for responding to the home explosion in Steeplechase. She stated her opposition to development at 7112 New Town Road. She commented on the blind curves at the intersection and the risky turns in all directions at New Town Road and Twelve Mile Creek.

D.I. Von Briesen - Charlotte: Mr. Von Briesen stated that he has lived in Charlotte since 1988 and he has known the applicant for many years. He stated that this congregation meets at a different time than Sunday morning church. He commented on the character of the applicants: this group looks outward and teaches a strong obligation for caring for one's neighbor. Mr. Von Briesen stated that these applicants will do the right thing in all circumstances. He commented that there are traffic problems everywhere and those tough challenges for all.

Bishop Beall – Cavaillon: Mr. Beall lives at the intersection of New Town and Twelve Mile Creek. He commented that he is the chairman of the board for a global missionary organization. He commented on the challenge of practical issues of this project. The location is horrific. Mr. Beall stated that this is not about the fact that it's a Mosque-not about the faith, but about the traffic concerns, light pollution, noise pollution, the size/height of structures, and the environmental and community impact. He asked for a clear understanding and extreme due diligence. He commented that he drives 25-28 minutes to his worship and there must be a better location.

Mark Wilson – Crane Road: Mr. Wilson commented that he lives on Crane Road and it is dangerous. He stated that the worship times differ from heavy traffic times. Mr. Wilson stated that there is a school bus stop on that road, and he doesn't believe that they would put a stop on a road so dangerous. Mr. Wilson stated that no road improvement will happen until it needs to happen, and the public won't know the impact of traffic until it's happening. He stated that he has to drive 30 minutes to a Mosque, but there are churches all around.

Jack Braman – Aero Plantation: Mr. Braman commented on the danger of New Town Road with speeding and traffic backed up. He commented on the infrastructure and the unusual location. He expressed concern for the light and noise pollution. Mr. Braman stated that there are a lot of options in this area that would probably serve the community better. Great to have a mosque-just the wrong place.

Walt Hogan. Mr. Hogan commented on the other 5 acres of the property. He stated his concern for what may be planned for the additional acreage. Mr. Hogan expressed that he believes that the people proposing this are wonderful, but Community 23 – 25 years. He said that all the stuff they're talking about has solutions. What doesn't have a solution is what they're not telling about the additional 5 acres on the property. Better solution for road. Believe that people supporting this are wonderful.

Kimberly Church – Providence Woods: Ms. Church stated her concern is over the future prospects and the additional acreage. She commented that any traffic study done won't be relevant in the future.

Todd Pfalzgraf: Mr. Pfalzgraf stated that he is the owner of the property. It is in rough shape. He stated that his initial intention was to move into the property. When it was put up for sale, many developers wanted to buy it. The Rahma Center contacted him with a proposal. Mr. Pfalzgraf opted to sell to them rather than the developers offering more money. He commented that he doesn't believe traffic has anything to do with this project and he sees this as a great addition to community.

David Arno – Aero Plantation: Mr. Arno commented on the growth he's seen. He commented on the New Town intersection being dangerous. He stated his concern for the noise pollution, light pollution, and traffic. He stated that this project on this property will disrupt the serenity of the people invested there. He urged the Rahma Center to find another location.

Council discussion:

Councilmember Perryman thanked the applicants for the presentation. He stated that this is the start of the process. Councilmember Perryman commented that this sounds like a worthwhile project and as with any project, there are always concerns. He stated that he looks forward to seeing where it goes.

Mayor Pro Tem Smith commented that he attended the 3 community meetings. He urged the applicant to be prepared and thorough when the application is submitted. He stated concerns about the entrance to the property.

Councilmember Ladner asked what the worship days are. Applicant responded that the congregation comes together Friday from 1:30 to 2:30. There are prayers throughout the day, but not a full sermon. Councilmember Ladner asked if there would be sport fields. The applicant responded that there are children in the congregation so there will be weekend school and activities to keep kids active. There will be no league play.

Councilmember Howie commented that it is always interesting to watch the evolution of project. She is looking forward to witnessing the evolution of the project when it comes before Council.

Councilmember Ladner asked if a traffic study would cover if there are bigger events that would draw participants from other communities. The applicant responded that the traffic study is done on the maximum capacity of the structures.

Mr. Blue commented on the additional acreage. As far as rest of property – there are long term plans. This congregation is young, so the focus is Phase 1. Evaluation for the traffic impact analysis is based on initial anticipated capacity for the building. Anything added or outside of proposal will come back through the conditional zoning process.

Mayor Bell stated his appreciation for the applicant changing their schedule to come tonight. He commented that he believes that there is a better location for their vision. He thinks the applicant can do better with a location they can grow into.

The applicant responded that the current use is more than enough for what they need now. In 25 years, anything could happen. He stated that the vision is to serve the community in Weddington right now and put in a worship place for now. There is no plan to put huge soccer fields in, it's only a place for children to play.

Mayor Bell asked if there are plans for a cemetery. The applicant responded that their faith has rules around cemeteries, and it would not work in that area.

Mayor Bell commented that he believes that this is the wrong location for their vision. He stated that they are doing a lot of good in the community, and he would like to see them with more elbow room.

10. Consent Agenda

- A. **Approve November 12, 2024 Town Council Regular Meeting Minutes**
- B. **Adopt 2025 Town Council Meeting Calendar**
- C. **Adopt Town of Weddington 2025 Holiday Calendar**
- D. **Approve Policy Prohibiting Viewing or Saving Pornography on Town Networks and Devices as per NCGS 143-805**
- E. *Approve Amendment to the Audit Contract*

Motion: Councilmember Perryman made a motion to approve the Consent Agenda as amended.

Vote: The motion passed with a unanimous vote.

11. Old Business

- A. **Discussion of response to Park RFQ and authorization of staff to enter into contract negotiations.**

Staff received a second submittal from Labella Associates.

Council discussed the RFQ submission from Labella Associates. Councilmembers agreed that Labella had an impressive submission that read like a resume. The Town already has a relationship with Labella, and communication is already established with the company.

Motion: Councilmember Ladner made a motion to direct staff to negotiate contract terms with Labella Associates for engineering plans for the park property.

Vote: The motion passed with a unanimous vote.

11. ~~New Business~~

- ~~a. **Application by ODA Architecture on behalf of Polivka International requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road**~~

~~i. Public Hearing~~
~~ii. Discussion and Consideration~~

12. Code Enforcement Report

Report is in the packet. Staff is meeting with a few of the property owners this week and next to work on bringing properties into compliance.

13. Update from Finance Officer and Tax Collector

Ms. Gaylord presented the financial update. The audit contract had to be extended to no later than January 31, 2025. Staff will start process for bidding out the audit contract as the current Auditor is retiring. It may be a challenge as Weddington has a small budget and the income level isn't high enough for the work an auditor would have to do.

14. Updates from Town Planner and Town Administrator

Ms. Dewey gave her update.

- The town tree lighting and holiday celebration was a great success. We had singing groups from Weddington Middle School, Union Day School, Union Academy. Carousel Queen Lacey Maher, who is Ms. Weddington and Ms. Union County as well, helped light the tree. We are especially grateful to the Weddington High School Marine Corps Junior ROTC who helped with set up and came back to help clean up. I can't tell you how much we appreciate all our volunteers, but especially those young men and women. I also have to give a very loud shout out to Debbie Coram for all of the blood, sweat, and tears she put into organizing the event. She might make it look easy, but I know how hard she worked, and I wanted to thank her especially.
- I've got a crew taking down the dead tree on the park property behind the shopping center. This was contracted to be done earlier this fall, but the hurricane made other projects a greater priority for Arborguard. We are pruning and taking care of the other large trees on that property.
- Planning Board has changed the date of their meeting to avoid infringing on holiday vacations. They will meet on Wednesday, December 18th at 7 p.m. Staff will have the agenda posted for the public before Friday.
- New unwrapped toys will be collected at town hall through Wednesday for the Toys for Tots program.

15. Transportation Report

Mayor Bell reported that the Waxhaw Bypass Amendment to the State Transportation Improvement Plan (STIP) has been tabled indefinitely by the Charlotte Regional Transportation Organization.

16. Council Comments

Councilmember Ladner: I have never seen the Town Hall look as good as it does this year. My boys have weightlifting 3 days a week and I made them get up 5 minutes early to see the lights and the lights aren't on! Thanks to everyone for the year and the input and Merry Christmas or however you celebrate your holiday.

Councilmember Howie: I will agree Town Hall looks phenomenal. Thank you for the tree lighting. Many of my contemporaries and their families enjoyed the event. Everyone have a safe and healthy holiday season.

Mayor Pro Tem Smith: Again, I'll thank everybody for the tree lighting. It was a spectacular event and I got a lot of positive comments on it. So that is nice to have something around our modest town hall. I want to thank everyone who came out tonight and those who gave input on our various conversations and wish everybody a Merry Christmas.

Councilmember Perryman: The broken record continues. Thank you to all who helped make Town Hall look as it does for the holidays. It is absolutely spectacular. Thank you to the folks who came out this evening and thank you to the folks watching. I hope this is proving to be beneficial to everybody who can't be here in person or be here today. I will just finish up to all the town staff with this again – I want to give a thank you to all town staff. For the amount of work this small staff gets done for this town every year. I don't think you can find any town in the state that can match that. The amount of work is spectacular. I thank them for that. I wish my fellow councilmembers, staff and everyone a Merry Christmas and happy holidays and let's hope 2025 is good for everybody.

Mayor Bell: I can't say it as gracefully as Jeff. I want to say thank you guys. It's been a pleasure and honor to work with each of you. It's been a pleasure working with all the staff. Sometimes we get frustrated because we have so much on our plates, but I agree with Jeff, I don't think there's anybody that can do it like we can. It's a great team. Merry Christmas to each one of you.

17. Adjournment

Motion: Mayor Pro Tem Smith made a motion to adjourn the December 13, 2024 Regular Town Council meeting at 8:52 p.m.

Vote: The motion passed with a unanimous vote.

Approved: _____

Jim Bell, Mayor

Karen Dewey, Town Administrator/Clerk



Charlotte Division
5350 77 Center Dr, Suite 100
Charlotte, NC 28217
(704) 376-9800 **OFFICE**
(704) 376-0023 **FAX**

Date: 06 Jan 2025

Attn: Town of Weddington and LaBella

RE: Harlow's Crossing Bond Release

To whom it may concern,

First, I would like to say thank you to both Town and LaBella staff for their assistance throughout the development process.

As discussed in our 20 Dec 2024 meeting, I feel that M/I Homes has satisfied bond release requirements for Infrastructure and BMP bonds covering the first two sections of the subdivision. Please see Attachment 1 for clarification on nomenclature used for each "section". I will be using the plat nomenclature throughout the remainder of this letter (and subject line above).

Per Attachment 2-4, below, Ph 1 Map 1 roadway was accepted by NCDOT 22 March 2021 and pond accepted by the Town of Weddington 26 Jan 2022. These two letters, combined, satisfy bond release requirements for Ph 1 Map 1.

Attachment 5-6 indicates acceptance of Ph 1 Map 2 roadway and ponds. The attachments are dated 25 Oct 2012 and 15 Feb 2023, respectively. These two letters, combined, satisfy bond release requirements for Ph 1 Map 2.

As of today's date, (6 Jan 2025), M/I Homes has not received the returned bond for Ph 1 Map 2. Based on the discussions with Labella and Town staff and the documentation presented, I would like to request, on behalf of M/I Homes, a release of the Ph 1 Map 2 bond totaling \$333,387.50. To clarify further, I feel the bond should be released in total rather than reduced to maintenance. Based on the dates provided on the individual letters, the maintenance period would have ended no later than February of 2024. It is now January of 2025 and M/I Homes has returned to the site on multiple occasions to make repairs since Feb 2023. LaBella staff noted the multiple efforts during our 17 Dec 2024 site visit. On that same visit, we noticed a few newly broken sidewalk panels and a swale that could use refreshing. The repairs are on schedule for this week, weather permitting. It is my hope that the Town and Labella staff agree that M/I Homes has satisfied bond release requirements and chooses to release the bonds in the January 2025 council meeting

Thanks again for your help

Regards,

DJ Moton
Land Development Manager
M/I Homes of Charlotte, LLC
dmoton@mihomes.com
336-432-4906



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

March 22, 2021

M/I Homes of Charlotte, LLC
5350 Seventy-Seven Center Drive, Suite 100
Charlotte, NC 28217

SUBJECT: Inspection of Roadways inside Harlows Crossing off Matthews Weddington Rd in Union County.

Dear Sirs :

This letter is to advise that this office has made a recent inspection of the roads under construction for Harlows Crossing Subdivision . These roads appear to be constructed in accordance with NCDOT standards with regards to subgrade, stone base, seeding and mulching, drainage, curb and gutter, the final layer of asphalt has been placed. Also, the roadway profiles were found to be in accordance with NCDOT standards.

If you have any questions, please contact me at the number below.

Sincerely,

A handwritten signature in black ink that reads "Mac Outen".

Mac Outen
Engineering I
704-218-5107



January 26, 2022

Mr. Leamon Brice Interim Zoning Administrator/Town Planner
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: Harlows Crossing Phase 1
Wet Pond #1 As-Built Certification

Dear Leamon:

We have reviewed the as-built survey and the engineer's certification for the detention pond (see attached certification and as-built survey), and recognize the satisfactory completion of the detention pond for the subdivision. The pond should be placed on the Town's list to receive annual inspections reports from the Home Owners Association. We recommend that inspection reports for this pond be provided to the Town beginning October 2022.

If you have any questions, please contact us at 704-941-2132.

Sincerely,

LaBella Associates

Bonnie A. Fisher, PE
Project Manager

Attachments

cc: Dwayne Moton, MI Homes



January 26, 2022

Ms. Karen Dewey, Interim Administrator and Town Clerk
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: Harlows Crossing Phase 1 (formerly Carrington)
Release of Performance Bond

Dear Karen:

LaBella has verified satisfactory completion of development improvements previously bonded by the developer for this phase. An as-built survey of the stormwater management pond with supporting Engineer's certification has been submitted to the Town (Attachment 1). NCDOT has inspected and approved construction of these streets (Attachment 2). Therefore, the performance bond in the amount of \$210,400.63 for Phase 1 may be released.

Sincerely,

LaBella Associates

Bonnie A. Fisher, PE
Project Manager

Attachments

cc: Dwayne Moton, MI Homes



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

October 25, 2021

M/I Homes of Charlotte, LLC
5350 Seventy-Seven Center Drive, Suite 100
Charlotte, NC 28217

SUBJECT: Inspection of Roadways inside Ph-1 Map 2 of the Harlows Crossing Subdivision off
Weddington Matthews Road (SR 1344) in Union County.

Dear Sirs :

This letter is to advise that this office has made a recent inspection of the roads under construction for Ph-1 Map 2 of the Harlows Crossing Subdivision . These roads appear to be constructed in accordance with NCDOT standards with regards to subgrade, stone base, seeding and mulching, drainage, curb and gutter, the final layer of asphalt has been placed. Also, the roadway profiles were found to be in accordance with NCDOT standards.

If you have any questions, please contact me at the number below.

Sincerely,

A handwritten signature in black ink that reads "Mac Outen".

Mac Outen
Engineering 1
704-218-5107



February 15, 2023

Mr. Robert Tefft Zoning Administrator/Town Planner
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: Harlows Estates Phase 1 Map 2 (Formerly Carrington Subdivision)
Wet Detention Basin #2 As-Built Certification
Wet Detention Basin #3 As-Built Certification

Dear Robert:

We have reviewed the as-built surveys and the engineer's certifications for the stormwater management facilities and recognize their satisfactory completion (see attached certifications and as-built surveys). These ponds should be placed on the Town's list to request annual inspection reports from the Home Owners Association.

If you have any questions, please contact us at 704-941-2132.

Sincerely,

LaBella Associates

Bonnie A. Fisher, PE
Project Manager

Attachments

cc: Todd Fisher, PE Cole, Jenest, & Stone



TO: Mayor and Town Council
FROM: Gregory Gordos, AICP, Town Planner
DATE: January 13, 2025
SUBJECT: Application by 13700 Providence Road, LLC (property owner) requesting Conditional Zoning approval for the development of a two building office expansion located at 13700 Providence Road.

APPLICATION INFORMATION:

SUBMITTAL DATE: September 18, 2023
APPLICANT: Stephen Overcash, ODA Architecture
PROPERTY LOCATION: 13700 Providence Road
PARCEL ID#: 06063001
ACREAGE: +/- 5.064 acres
EXISTING LAND USE: office
EXISTING ZONING: MX, Mixed-Use

PROPOSAL:

The applicant, operating on-site as Polivka International, is proposing the development of two new office/medical office buildings to the east of the current office building. The two buildings are 10,000 square feet of space each in two stories; closer to Providence Road but behind the current retention pond for stormwater. These buildings are angled towards the entrance along Providence per community feedback provided in one of two Community Meetings held for the project. Hunter Farm is directly to the north of the site. Weddington Methodist Church is to the south. Harris-Teeter grocery store and other commercially zoned uses are found to the east, as is Town Hall.

Development Standards.

The development proposal does include one (1) change to the Development Standards already set forth in the Unified Development Ordinance (UDO). One structure does not meet height requirements based on proximity to a residentially

zoned parcel. The development shall be governed by this Plan and all applicable requirements of the UDO. Applicant agreed at the 10/28/2024 Regular Planning Board Meeting to modify the building height to bring into compliance with the Town UDO.

RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:

UDO Section D-607(C), Conditional Rezoning.

As required by UDO Section D-607(C)(5), the applicant held their required Community Meeting at Town Hall on June 10th and a second Community Meeting on August 5th. The applicant has provided a Community Meeting Report which has been attached to this staff report and posted on the Town’s website.

The Planning Board heard and tabled this agenda item at their August 2024 hearing. The Town Council is tentatively scheduled to hold a public hearing regarding this application on Monday, November 12th, 2024, at 7:00 pm. The Conditional Zoning process allows the developer and the town to ask for conditions which could include special exceptions to rules or additional improvements. The town and the developer must agree on a condition for it to become a part of an approval.

UDO Section D-703(D), Permitted Uses (by zoning district).

Pursuant to Table 1, Permitted Uses, as contained within UDO Section D-703(D), Existing B-1 (CZ), B-2 (CZ), and MX (CZ) Districts are site specific development approvals, and shall follow the uses allowed in those approvals. This parcel was zoned MX District to allow the Polivka International building, by Town Council vote, in 2012.

UDO Section D-703(E), Lot and Building Standards Table.

Pursuant to Table 2, Lot and Building Standards, as contained within UDO Section D-703(E), all development within the MX zone is required to meet certain standards. However, these are not defined like Residentially zoned properties. The following table identifies those standards, as well as how the subject development proposal complies:

Lot and Building Standards		Standard	Proposed
Minimum Lot Size		N/A	n/a
Minimum Lot Width		N/A	n/a
Minimum Setbacks	Front	25'	>100'
	Side	25'	36'
	Rear	25'	>100'
Maximum Height		40'	40'
Maximum Floor Area Ratio		0.2	0.15 (32,300 sf)

UDO Section D-917C, Specific Requirements for Non-Residential Development.

UDO Section D-917C, establishes numerous rules for how **non-residential** development is intended to occur within the Town. These rules include, but are not limited to, the location of landscaping, parking,

open space, stormwater management, and design requirements. While not all these rules are appropriate to be included at this stage of the development process, there are many that must be considered.

UDO Section D-917C(A)(1) A buffer shall be built and maintained the entire width of the property fronting major or minor thoroughfares and major or minor roads. The buffers shall be built the width of the setback. All such landscaping, screening and buffers shall include, protect and maintain existing and planted trees.

Ten existing trees are provided along Providence Road within the buffer. Additional new trees are proposed within the new parking lot.

New screening for buildings and parking: see new sheet CZ-003

UDO Section D-917C(A)(3) All buildings or structures within 50 feet of residentially zoned property shall be limited to two stories and shall have a maximum building height of 35 feet, as measured from the ground level to the peak of the roof.

The right building is greater than 50' (143') from a residentially zoned parcel based ~~on the scale provided by ODA Architecture~~ on a newly submitted Architectural Site Plan, while the left building is not (2836'). Positive findings of compliance cannot be made.

UDO Section D-917C(A)(5) Where the first floor of a nonresidential building has expanses of blank wall, each such expanse of blank wall may not exceed 20 feet in length.

Windows are provided on all sides of the ground floor. Positive findings of compliance can be made.

UDO Section D-917C(A)(6) Nonresidential portions of a development shall be designed so that they encourage and facilitate pedestrian use of those portions. In addition to other design elements that encourage and facilitate pedestrian use, in nonresidential portions of a development, sidewalks shall be placed in front of all principal buildings, and small pocket parks shall be created whenever feasible.

Sidewalks are placed in front of the entrance of each new structure. However, there is no facilitation of pedestrians traveling from building to building nor any connection to Providence Road or adjacent uses.

UDO Section D-917C(A)(7) Large expansive off-street parking lots are not allowed.

Parking lots are broken up by a center drive aisle and most parking lots are oriented to the east of the site away from the front entrance. However, parking at the rear of the building is preferred. This change to front-loaded parking was based on resident input during a community meeting.

A new site plan better illustrating parking was added to the packet as sheet CZ-002

UDO Section D-917C(A)(8) On-street parking is allowed and may be counted towards meeting the off-street parking requirements. For both on-street and off-street parking, a parking space shall be not less than nine feet in width or less than 20 feet in length

Parking spaces revised to meet 9'x20' requirement. 77 spaces required.

UDO Section D-917C(A)(10) At a minimum, ten percent of the gross acreage of the project (minus any required setbacks and buffers, utility easements, stormwater detention areas, and marginal lands including, but not limited to, wetlands, floodplains, steep slopes, and bodies of water) shall consist of prominently located and pedestrian-accessible village green open spaces so as to encourage walking and pedestrian activity within the development. No development may occur within any such open space except for the creation of sidewalks, other walking paths, and any type of development commonly found in small public parks, such as statues or other art.

10% of the land appears to be open space but the percentage is not listed in the application documents. Open space shall be primarily repair area for the existing septic field to the south of the project site.

UDO Section D-917C(A)(11) The post development rate of stormwater runoff from any lot shall not exceed the predevelopment rate of runoff for a 100-year storm.

The applicant shall provide, at a minimum, the following information to the Administrator as part of his application to obtain a zoning permit:

An engineering report made and certified as true and correct by a registered engineer licensed to do business in the state. Such report shall include the following: 1. The routing of stormwater for the predevelopment and post-development conditions of the proposed building lot ...4. A statement indicating the rate of post-development stormwater runoff for the proposed building lot will not be greater than the predevelopment rate for a 100-year storm. ~~No report provided. A finding of compliance cannot be made.~~ Please see sheets U-1 through U-3 added to this report.

UDO Section D-917D, Supplemental Requirements for Certain Uses.

UDO Section D-917D, establishes supplements requirements for certain uses; however, not for all uses that are specifically listed in the UDO, including office or medical. As such, this Section is not applicable.

UDO Section D-918, General Requirements.

The various provisions set forth in UDO Section D-918, including, but not limited to visibility at intersections, lighting, screening, and landscaping, fences and walls, signs, and off-street parking and loading, as applicable, shall be reviewed for compliance with the submittal of plans for a Construction Permit. It is noted, however, that there do not appear to be any immediate concerns regarding compliance with these provisions.

UDO Appendix 5, Architectural Standards.

The standards described or referenced in this section shall apply to all nonresidential development, including renovations, remodelings, face lifts, repainting and additions to existing structures within the zoning jurisdiction of the Town of Weddington. All such projects that require a conditional use permit, a modification to a CUP, or conditional zoning shall be required to meet these standards.

Please see attachments for the full Appendix 5.

(Ord. No. O-2009-10, 7-13-2009)

RELATION TO THE CODE OF ORDINANCES:

Appendix C, Traffic Impact Analysis.

Pursuant to Sec. II (A) (1), a Traffic Impact Analysis (TIA) is required for any CZ which is expected to create 50 or more peak hour vehicle trips or 500 or more daily vehicle trips. The proposal met the threshold of requiring a TIA to be completed and approved by the Town. This document was reviewed and found satisfactory by LaBella Engineering on June 6th, 2024 after several revisions sent to the Town.

LAND USE PLAN CONSISTENCY:

NOTE: On June 3rd 2024 the Weddington Town Council adopted the new Comprehensive Land Use Plan, which established new goals and policies from those previously used by the Planning Board. This project is among the first to submit under these new guiding principles and the first non-residential proposal.

Land Use Goals:

Goal 1: New development and redevelopment activities shall be consistent with the Future Land Use Map and categories.

Policy: LU 1.1: The following Future Land Use categories, along with their intended uses, densities, and intensities, are hereby established (floor area ratio (FAR) only applies to non-residential uses): d. Business. The intent of this designation is to accommodate neighborhood-serving commercial uses in the Town Center area. Maximum FAR: 0.2.

The subject property is identified as *Business* in the 2024 Future Land Use Map (Map 4). The primary function of the Business FLU designation is to provide areas with neighborhood-serving commercial uses which serve the needs of Weddington residents. Note: this is the only Business designation *outside* the Downtown Overlay and the only parcel in Town zoned MX.

Goal 2: Ensure that new commercial development and redevelopment are located and designed to serve the residents of Weddington.

Policy: LU 2.2: The Town shall require all new development and redevelopment projects to integrate harmoniously into established neighborhoods through the use of buffering, open space, landscaping, and other site design tools.

The application is proposing two office building in addition to the existing office building structure. While not considered commercial (mercantile) this redevelopment project is adjacent to residential zoning to the north and south and site design is crucial for such a prominent location along the Providence Road corridor and across from the Downtown Overlay.

Transportation Goals:

Goal 1: Encourage the development of well-designed streets that are safe, connected, and welcoming for all users.

Policy: T 1.1: Major thoroughfares and key entryways shall be given the highest priority for beautification efforts and corridor design.

Providence Road (NC-16) is the main north-south thoroughfare in Weddington. Aesthetics of these non-residential buildings shall maintain the standards and requirements set forth in Section D-917C and Appendix 5. Brick masonry, large windows, and the orientation of structures to the entrance along Providence were a design response to community concerns.

Policy: *T 1.3: Encourage roads be designed and constructed to provide a high level of safety and comfort for all users (pedestrians, bicyclists and motorists), in a manner consistent with the character of the neighborhood through which the road travels.*

No new roads are proposed as a result of this addition. Pedestrian access is not safe as proposed.

Conservation Goals:

Goal 1: *Ensure that all new development takes place in a manner that conserves open space and scenic views.*

Policy: *C 1.2: Adopt/update development regulations to ensure new development is consistent with the Town's quality and aesthetic values, thereby protecting property values. This would apply to all new and redevelopment projects, apart from regulating aesthetics and materials for single-family homes.*

Aesthetics can be regulated for non-residential structures, including offices as proposed. The style of the proposed structures is Georgian with similar detailing to the existing 2-story office building.

Infrastructure Goals:

Goal 1: *Ensure that all existing and future developments in Weddington are served by adequate water, wastewater, drainage and emergency services.*

Policy: *I 1.1: Require water, wastewater, and drainage system improvements to be constructed concurrent with new development and that they provide adequate capacity to meet demands from existing and new users.*

One existing retention pond is proposed for stormwater runoff, which must be designed to meet 100-year stormwater events (just like residential projects) per a 2024 Town of Weddington UDO update. The existing septic field and repair areas are proposed for the two new structures with modifications recommended by DPR Design and attached as a memo to this staff report.

Based upon the above, staff provides the following Land Use Plan Consistency Statement for consideration:

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development.

A lack of detail in the submittal have been addressed regarding stormwater, parking dimensions, and landscaping. The south structure still encroaches in the setback requirement under UDO Section D-917C(A)(3). *All buildings or structures within 50 feet of residentially zoned property shall be limited to two stories and shall have a maximum building height of 35 feet.* The applicant has elected not to relocate the structure outside of the setback area: therefore, a height reduction would be necessary or a condition of approval to seek relief. The applicant states their agreement to modify the height of the structure to bring into compliance with the Town of Weddington Unified Development Ordinance.

The proposed development matches the existing character of office use and the property is properly zoned MX, Mixed Use. However, the development is isolated with poor pedestrian connectivity. Land uses

permitted in the MX zone also need to be explicit to avoid allowing mercantile commercial uses that should be in the Business (B-1 or B-2) zones, continuing use for office spaces and medical office as requested. Recommendation for approval shall be made for office land use types only.

RECOMMENDATION:

It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a two office/medical office building generally located at 13700 Providence Road, be recommended for **approval with conditions.**

- All buildings or structures within 50 feet of residentially zoned property shall be limited to two stories and shall have a maximum building height of 35 feet. The south building (PROPOSED 2 STORY) shall be limited to 35' and new building elevations shall be reviewed by staff for zoning compliance.
- Union County Environmental Health approval of the proposed lots for septic tanks and wells.

ATTACHMENTS:

Application
Sketch Plan
Renderings and Details
Land Use Map
Zoning Map
Community Meeting Report (2)
TIA

TOWN OF WEDDINGTON
Conditional Zoning Application

This application is required for all conditional zoning applications. Completed applications along with all associated submittal requirements, must be submitted via the Town's Self-Service Permitting Portal.

No application shall be considered complete unless accompanied by the application fee in the amount of \$1,650.00.

It is the responsibility of the applicant to submit complete and correct information. Incomplete or incorrect information may invalidate your application. The applicant, by filing this application, agrees to comply with all applicable requirements of the Unified Development Ordinance.

APPLICANT INFORMATION

Name: Stephen F. Overcash, RA
Mailing Address: 2010 South Tryon Street, Charlotte, NC 28203
Phone Number: 704.905.0423 Email: sovercash@oda.us.com

PROPERTY OWNER INFORMATION *(if different from applicant)*

Name: 13700 Providence Road, LLC.
Mailing Address: 13700 Providence Road, Suite 200, Weddington, NC 28104
Phone Number: 704.321.0802 Email: danp@polivkaintl.com

SUBJECT PROPERTY INFORMATION

Location: 13700 Providence Road, Weddington, NC 28104
Parcel Number: 06150045 (Lot 2 & Lot 3)
Existing Zoning: MX
Use of Property: Office

APPLICATION SUBMITTAL INFORMATION

All applications must include a site plan, drawn to scale, and supporting text that, as approved, will become a part of the Ordinance amendment. The site plan, drawn by an architect, landscape architect, or engineer licensed to practice in North Carolina, shall include any supporting information and text that specifies the actual use or uses intended for the property and any rules, regulations, and conditions in addition to all predetermined Ordinance requirements, will govern the development and use of the property. The applicant acknowledges that they will review the conditional zoning request prior to any zoning permits being issued by the Town for such project. The applicant shall, at a minimum, include as part of the application, each of the items listed below (including all submittal requirements listed in Appendix 2 of the UDO):

- A boundary survey showing the total acreage, present zoning classifications, date, and north arrow.
- The owner's names, addresses and the tax parcel numbers of all adjoining properties.
- All existing easements, reservations, and right-of-way on the property or properties in question.
- Proposed principal uses: a general summary of the uses that will take place, with reference made to the list of uses found in Section D-703 of the Unified Development Ordinance.
- Traffic impact analysis/study for the proposed service area, as determined by the Town Engineer, shall be required. In addition, traffic, parking and circulation plans, showing the proposed locations and arrangement of parking spaces and access points to adjacent streets including typical parking space dimensions and locations (for all shared parking facilities) along with typical street cross-sections.
- General information on the number, height, size, and location of structures.
- All proposed setbacks, buffers, screening, and landscaping required by these regulations or otherwise proposed by the petitioner.
- All existing and proposed points of access to public streets.
- Proposed phasing of the project.
- Proposed number, location, type, and size of all commercial signs.
- Exterior treatment of all principal structures.
- Delineation of all marginal lands, including areas within the regulatory floodplain, as shown on official Flood Hazard Boundary Maps for Union County.
- Existing and proposed topography at five-foot contour intervals or less.
- Scale and physical relationship of buildings relative to abutting properties.
- Public Involvement Meeting Labels.

Planning Board Review

Before the Planning Board review, the applicant must provide a written report of at least one community meeting held by the applicant. Reasonable notice of the required community meeting shall be provided as stated in Section D-607.C.5 of the Unified Development Ordinance. The Zoning Administrator shall present any properly completed application to the Planning Board at its next regularly scheduled meeting occurring at least 15 days after the

application has been deemed complete and ready for submission to the Planning Board. The Planning Board, by majority vote, may shorten or waive the time provided for receipt for a completed application. The Planning Board shall have 30 days from the date that the application is presented to it to review the application and to act. If such period expires without action taken by the Planning Board, the application shall then be transferred to the Town Council without a Planning Board recommendation.

Public Hearing Required

Prior to deciding on rezoning a piece of property to a Conditional Zoning District, the Town Council shall have held a public hearing. Notice of such public hearing shall have been given as prescribed in Section D-602 of the Unified Development Ordinance.



Action by Town Council

Conditional Zoning District decisions are a legislative process and shall consider applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances. A statement analyzing the reasonableness of the proposed rezoning shall be prepared for each application and evaluated by the Town Council. Once the public hearing has been held, the Town Council shall act on the petition. The Town Council shall have the authority to:

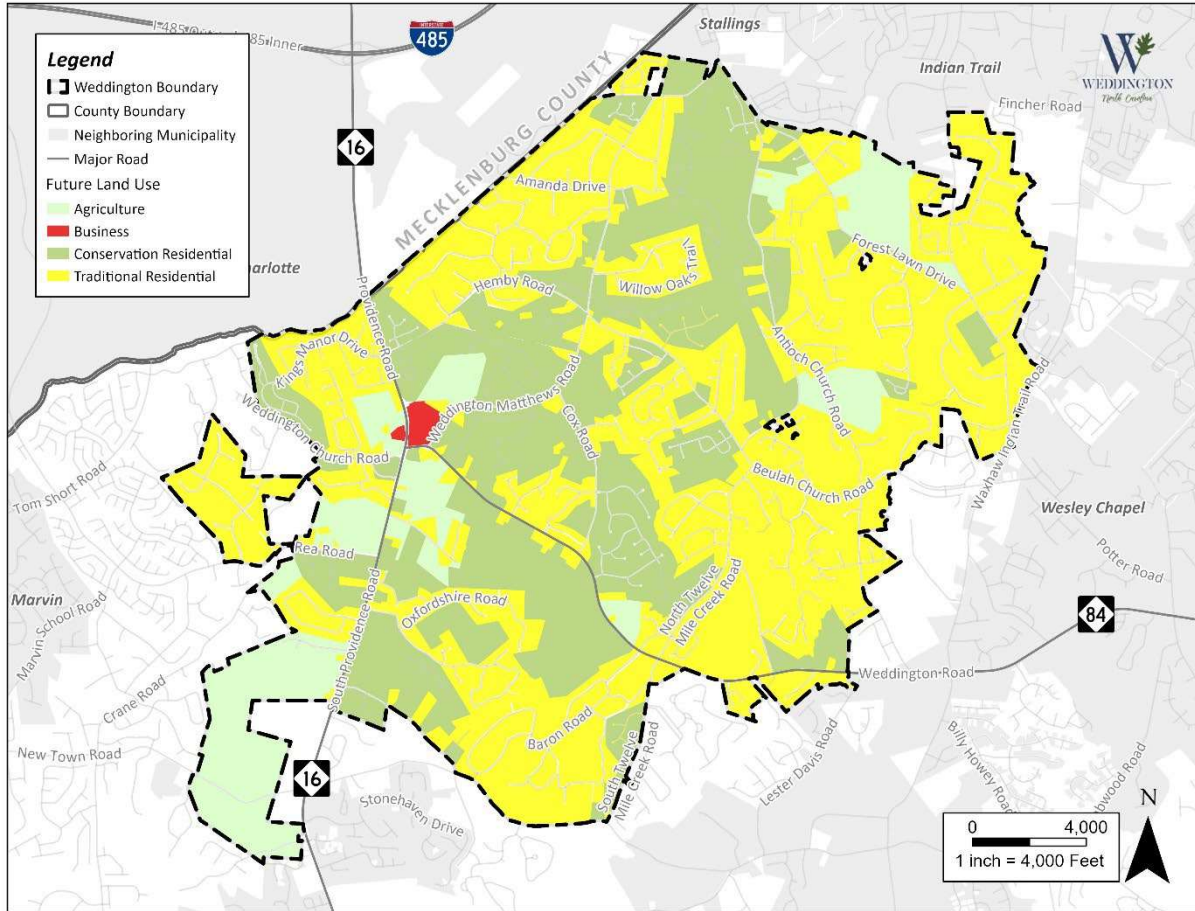
- a. Approve the application as submitted.
- b. Deny approval of the application.
- c. Approve application with modifications that are agreed to by the applicant.
- d. Submit the application to the Planning Board for further study. The Planning Board shall have up to 31 days from the date of such submission to make a report to the Town Council. If no report is issued, the Town Council can take final action on the petition. The Town Council reserves the right to schedule and advertise a new public hearing based on the Planning Board's report.

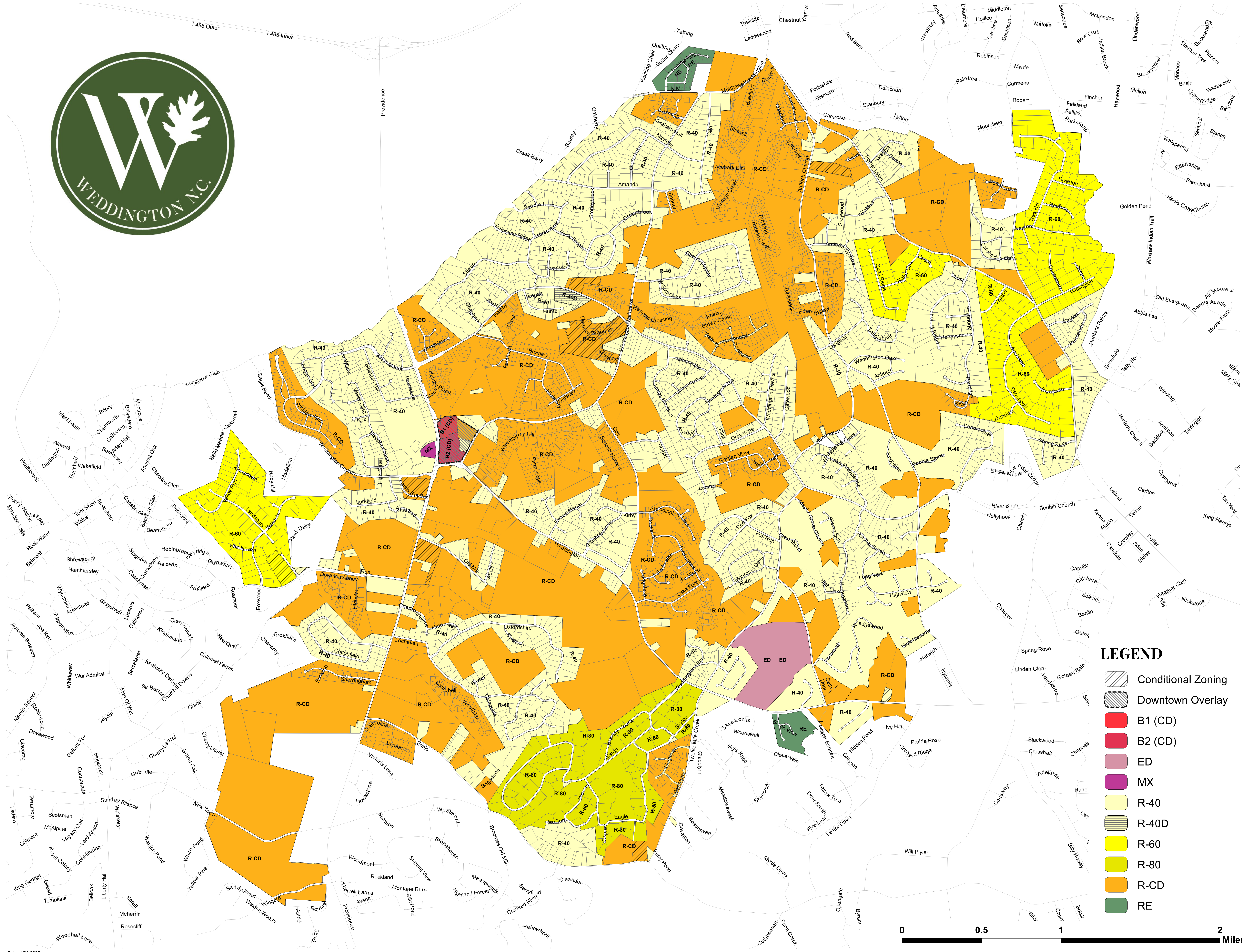
CERTIFICATION

I HEREBY CERTIFY that all the information provided for this application and all attachments is true and correct to the best of my knowledge. I further certify that I am familiar with all applicable requirements of the Weddington Unified Development Ordinance concerning this proposal, and I acknowledge that any violation of such will be grounds for revoking any approvals or permits granted or issued by the Town of Weddington.

 _____ Applicant	<u>9/13/2023</u> _____ Date
 _____ Property Owner	<u>9.15.23</u> _____ Date

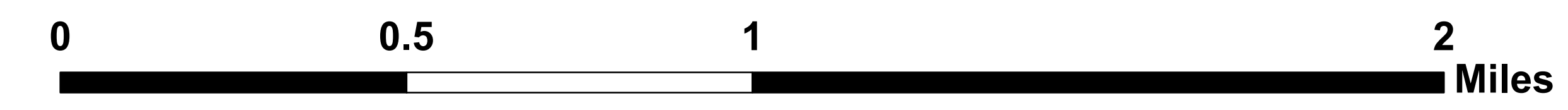
Map 4 Future Land Use Map





LEGEND

- Conditional Zoning
- Downtown Overlay
- B1 (CD)
- B2 (CD)
- ED
- MX
- R-40
- R-40D
- R-60
- R-80
- R-CD
- RE



Date: 1/30/2023

This Map was produced by the Town of Weddington and is for informational purposes only. This Map may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

TOWN OF WEDDINGTON - OFFICIAL ZONING MAP



June 13, 2024

Community Meeting – Weddington Town Hall

Date: June 10, 2024; 6:30 pm – 7:30 pm

Subject: 13700 Providence Road Conditional Zoning Amendment

Petitioner: 13700 Providence Road, LLC

Presenters:

Stephen F. Overcash, RA, ODA Architecture

Alexa Polivka, Polivka International, Ownership

Attendees:

1. Elizabeth Holtey, 5017 Woodview Lane
2. Harry B. Chilcot, Fox Run
3. Mayor Jim Bell, Town of Weddington
4. Christopher Neve, 110 Chasetone Ct.
5. Chad Emerino, 953 Eagle Road
6. Melissa Emerino, 953 Eagle Road
7. Nancy Anderson, 13624 Providence Road
8. Paul Cruz, 219 Larkfield Road
9. Bill Deten, Waybridge
10. Eva Bender, 13901 Providence Road
11. Walter Hoan
12. David Vitchev
13. Ryan Jones
14. Gregory Gordos, Town of Weddington
15. Karen Dewey, Town of Weddington

Discussions:

The two proposed buildings would only be leased as office space, approximately 50% general office and 50% healthcare. It was discussed that these uses would be an amenity for Weddington. If the uses were ever proposed to be changed, it would require another Conditional Zoning Amendment. Future tenants will have to be approved for Weddington UDO appropriateness.

The history of the project was questioned, as to why the original 3-building proposed complex had been turned down. To the best of the architect's memory, it was due to being too large of a development at the time. The owners decided to build the first building and pursue additional buildings in the future, if the



market dictated the need for additional office / healthcare space. It was discussed that the original building persistently stays 100% leased.

It was confirmed that the Owner of the original building and its uses had been a “good neighbor”.

The TIA (Traffic Impact Study) was verifying that there would be minimal impact on Providence Road and existing roadway systems. The TIA Report is public record and is currently being finalized by the Traffic Engineer and the Town of Weddington’s Engineering Consultant.

The building facades facing Providence Road need to be more detailed and reflectant of the original, existing office building, potentially incorporating more columns and dormers. It was discussed for the architect to study alternative ways to position the buildings on the site to provide better visibility of the existing building.

It was discussed to potentially angle the buildings for better visibility. All three buildings could be positioned around a park or landscaped courtyard, potentially with a fountain. A central gathering space would be ideal for employees to enjoy lunch in a landscaped exterior space.

It was discussed that the new configuration may require parking in front of the buildings, but the parking would be screened with landscaping.

It was discussed that parking was necessary for the success of the project, but it was important to not “over-park”, as green space and less stormwater run-off would be beneficial.

It was discussed that all new parking areas would be asphalted with curb and gutter edging.

The septic system was discussed. It was questioned as to if the public sanitary sewer could be utilized. There is currently no public sanitary sewer on the 13700 side of Providence. It was investigated to bring a sanitary sewer line to the site from the nearest available point, but it was cost prohibitive. It was discussed that Ownership would tap into a public line once it becomes available.

It was discussed that the owner had engaged a septic consultant who provided a site plan identifying green areas that would be satisfactory for the “repair” necessary for the system to perk. All future buildings and parking locations would need to respect these designated green areas.



The RollPark beside the original office was discussed. Ownership informed that this was a product that the owners had developed and this parking area would potentially be returned to grass or future asphalt parking.

It was discussed that the original existing stormwater retention pond had been designed to accommodate the ultimate build-out of the site. When the civil engineers analyze the existing and proposed development for stormwater run-off, the pond could be enlarged, if necessary to accommodate current stormwater regulations.

Connectivity to the two adjacent neighbors was discussed. The owner verified that there were not any plans to provide vehicular connectivity to either.

As a side note, the Downtown Overlay Plan was discussed, as to if it affected the 13700 property.

The attendees generally accepted the proposed uses and building sizes, but with changes to the site plan and to the architecture.

Next Steps:

The Owner and Architect will revise the site plan to incorporate the comments received at the Community Meeting.

The Architect will receive comments from the Town's Engineering Consultant; the comments were promised before the Community Meeting and it would have been beneficial to have had their comments to discuss at the meeting.

The Architect will re-submit the Conditional Zoning Amendment presentation and another Community Meeting will be held. The Town will send notices once a new date is determined.

Stephen F. Overcash, RA



August 15, 2024

Community Meeting – Weddington Town Hall

Date: August 5, 2024; 6:30 pm – 7:30 pm

Subject: 13700 Providence Road Conditional Zoning Amendment

Petitioner: 13700 Providence Road, LLC

Presenters:

Stephen F. Overcash, RA, ODA Architecture

Attendees:

1. Elizabeth Holtey, 5017 Woodview Lane
2. Mayor Jim Bell, Town of Weddington
3. Christopher Neve, 110 Chasetone Ct.
4. Chad Emerino. 953 Eagle Road
5. Melissa Emerino, 953 Eagle Road
6. Nancy Anderson, 13624 Providence Road
7. Bill Deten, Waybridge
8. Gregory Gordos, Town of Weddington
9. Karen Dewey, Town of Weddington
10. Tom Smith, myoe Pro Tem
11. Tracy Stone, Providence Place
12. Sophie Harrington, Catawba Lands
13. Steve Engelhardt, 2009 Seth Drive
14. Ellen Engelhardt, 2009 Seth Drive

Discussions:

The two proposed buildings would only be leased as office space, approximately 50% general office and 50% healthcare. It was discussed that these uses would be an amenity for Weddington. If the uses were ever proposed to be changed, it would require another Conditional Zoning Amendment. Future tenants will have to be approved for Weddington UDO appropriateness.

It was questioned as to if there is a definition of “office” in the UDO. The architect described office as providing “services” in lieu of selling “goods”. After being questioned if a “dry cleaner” was considered “office”, it was clarified that a dry cleaner would be considered “mercantile”.

It was confirmed that the Owner of the original building and its uses had been a “good neighbor”. The TIA (Traffic Impact Study) has been approved and verified that there would be minimal impact on Providence Road and existing roadway systems.



The revised site plan and revised elevations / renderings were considered positive by the Community and no further revisions were requested to the Master Plan or Architectural Design. It was discussed as to if a small landscaped garden could be provided in the green space adjacent to the south office building. The architect verified that this would be studied.

It was discussed that 20,000 sf of “gross building area” translated into approximately 16,000 sf of leasable area for tenants. It was discussed that it was anticipated that there would be 4 tenants in each building.

It was discussed that parking was necessary for the success of the project, but it was important to not “over-park”, as green space and less stormwater run-off would be beneficial. As the UDO parking requirement is based on number of employees and doctors in the establishments, the architect outlined that the Town of Weddington UDO requirements for parking would be met, once tenants started signing leases.

The septic system was discussed. It was questioned as to if the public sanitary sewer could be utilized. There is currently no public sanitary sewer on the 13700 side of Providence. It was discussed that Ownership would tap into a public line once it becomes available.

It was discussed that the owner had engaged a septic consultant who provided a site plan identifying green areas that would be satisfactory for the “repair” necessary for the system to perk. All future buildings and parking locations would need to respect these designated green areas.

It was discussed that the original existing stormwater retention pond had been designed to accommodate the ultimate build-out of the site. It was verified by Nancy Anderson that she had never seen the pond even close to full.

The attendees generally accepted the proposed uses and building sizes. There was healthy debate by the attendees as to if Weddington needed any more commercial uses.

Next Steps:

The Owner Petitioner is requesting to be heard at the soonest possible Council Meeting.

Stephen F. Overcash, RA

August 5, 2024
6.10.2024



Weddington Community Meeting

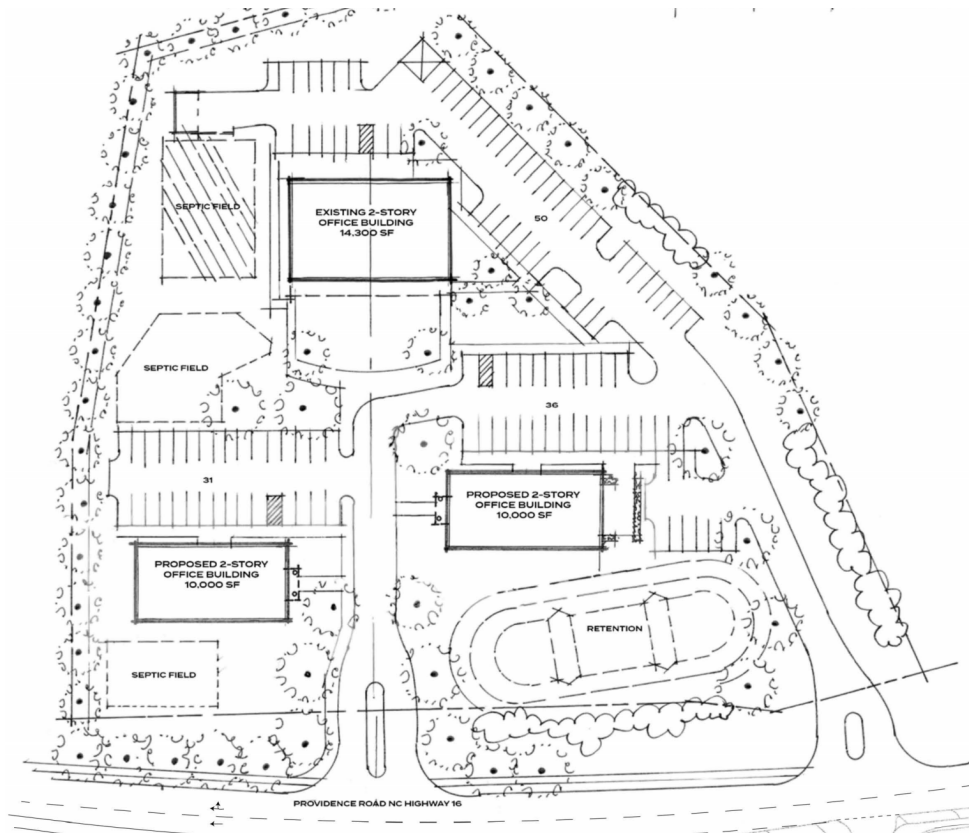
- Name Nancy Anderson Address 13624 Providence Rd. Weddington Tel.# 704-564-5897 Email hunterboon@aol.com
- Name Tomy Smith Address 1840 Tanglebriar Ct Tel.# _____ Email Mayor Pro tem
- Name LIZ HOLTEY Address 5017 WOODVIEW LN Tel.# 917-531-4433 Email ECOBLE@ATT.NET
- Name CHRISTOPHER NEVE Address 110 CHASESTONE CT Tel.# 919-672-539 Email christopherneve@gmail.com
- Name Bill Deke Address Waybridge Tel.# - Email -
- Name Tracy Star Address Prov. Place Tel.# _____ Email _____
- Name Chad Emerine Address _____ Tel.# _____ Email Chad emer@gmail.com
- Name Melissa Emerine Address _____ Tel.# _____ Email Melissa emerine@gmail.com
- Name SOPHIE HARRINGTON Address _____ Tel.# _____ Email ~~SOPHIE~~ SOPHIE@catawba-lands.org
- Name STEVE ENGELHARDT Address 1009 SETH DR. Tel.# 704-507-8272 Email STEVE@SCREAC.COM
- Name ETHEN ENGELHARDT Address " " Tel.# 704-309-8550 Email EBE1@CAROLINA-PR.COM
- Name _____ Address _____ Tel.# _____ Email _____
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TRAFFIC IMPACT ANALYSIS

WEDDINGTON OFFICE PARK

West side of Providence Road (NC 16) north of Weddington Road (NC 84)

Weddington, North Carolina



for

Polivka International

May 2024

1082-001 (C-2165)

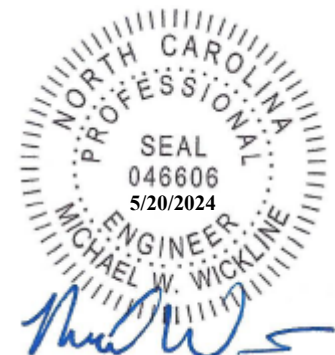




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EXECUTIVE SUMMARY

Polivka International proposes to develop a 10,000 SF General Office building and a 10,000 SF Medical Office building. The proposed site is located on Providence Road north of Weddington Road in Weddington, NC (see Figure 1). The development is expected to be completed in 2025.

This report provides analysis of the traffic operations within the area of influence, according to the standards set by the North Carolina Department of Transportation's (NCDOT) "Policy on Street and Driveway Access to North Carolina Highways, Chapter 4 Part C" and Union County. It provides intersection improvements needed for mitigating traffic impacts. This study evaluates the following scenarios:

- Existing Conditions
- 2025 No Build Conditions
- 2025 Build-out Conditions

The area of influence of the site as defined Town of Weddington staff includes the following three existing intersections (See Appendix for the approved scoping information):

1. Providence Road & Weddington Road (Signalized)
2. Providence Road & Access "A" (Unsignalized-RI/RO)
3. Providence Road & Access "B" (Unsignalized-RI/RO/LI)

According to the preliminary site plan (CZ-1), access to the site is expected to occur via two accesses located on Providence Road:

- Proposed Access "A" (Right-In/Right-Out): unsignalized access located on Providence Road at the existing Polivka International southern driveway.
- Proposed Access "B" (Right-In/Right-Out/Left-In): unsignalized access located on Providence at the existing Polivka International northern driveway.

The trip generation results indicate that the development is expected to generate 53 new AM peak hour trips and 63 new PM peak hour trips.

With the results of our analyses (the specifics are described in the Traffic Analysis section of this report) we suggest the following improvements/modifications at the study intersections/proposed accesses:

2025 Build Suggested Improvements:

1. Providence Road & Weddington Road (Signalized)

- No suggested improvements

2. Providence Road & Access "A" (Unsignalized)

- No suggested improvements



3. Providence Road & Access “B” (Unsignalized)

- No suggested improvements

In summary, even though the proposed office/medical office development will slightly increase the amount of vehicular traffic on the adjacent roadways/corridors, the existing/future and no build intersection operations are not expected to be materially impacted, assuming the existing access configurations.



PROPOSED DEVELOPMENT

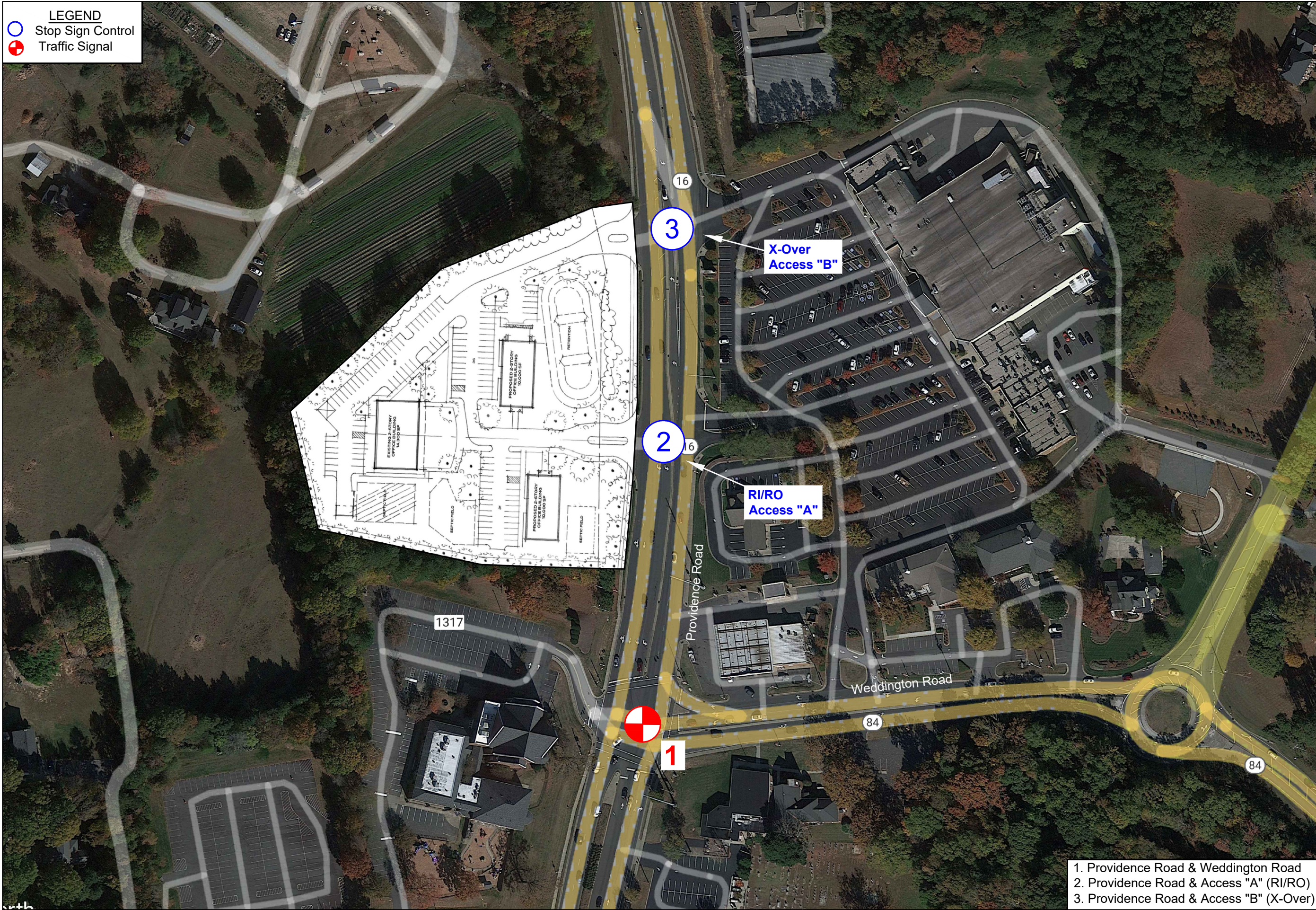
Polivka International proposes to develop a 10,000 SF General Office building and a 10,000 SF Medical Office building. The proposed site is located on Providence Road north of Weddington Road in Weddington, NC (see Figure 1). The development is expected to be completed in 2025.

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LEGEND

-  Stop Sign Control
-  Traffic Signal

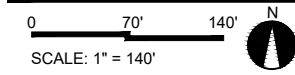


1. Providence Road & Weddington Road
2. Providence Road & Access "A" (RI/RO)
3. Providence Road & Access "B" (X-Over)

WEDDINGTON ROAD OFFICE PARK TIA
 WEDDINGTON, NC

POLIVKA INTERNATION
 13700 PROVIDENCE ROAD SUITE 200
 WEDDINGTON, NC 28104

**AREA OF
 INFLUENCE MAP**



PROJECT #: 1082-001
 DRAWN BY: PAH
 CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

1.	

Figure 1



AREA CONDITIONS

The area of influence of the site as defined Town of Weddington staff includes the following three existing intersections (See Appendix for the approved scoping information):

1. Providence Road & Weddington Road (Signalized)
2. Providence Road & Access "A" (Unsignalized-RI/RO)
3. Providence Road & Access "B" (Unsignalized-RI/RO/LI)

Morning (7:00-9:00 AM) and afternoon (4:00-6:00 PM) peak period turning movement counts (TMCs) were conducted at all study intersections on Wednesday December 13, 2023. See Appendix for raw count data sheets.

According to the latest NCDOT Roadway Functional Classification data, Providence Road is a Minor Arterial with a posted speed limit of 35-mph. The roadway is a four-lane median-divided facility (two lanes in each direction), with appropriate left and right turn lanes within the vicinity of the site. Curb/gutter and sidewalks are present on both sides of the roadway. No bike lanes or planting strip are present on either side of the roadway within the vicinity of the site.

According to the latest NCDOT Roadway Functional Classification data, Weddington Road is a Minor Arterial with a posted speed limit of 35-mph. The roadway is a two-lane facility (one lane in each direction), with appropriate left and right turn lanes within the vicinity of the site. Curb/gutter are present on both sides of the roadway within the vicinity of the site. There is no sidewalk, bike lanes or planting strip present on either side of the roadway in the vicinity of the site.

In addition to the intersection TMCs, geospatial information provided by NCDOT's ArcGIS portal (*Go! NC*), such as Annual average daily traffic (AADT) and crash data were collected.

AADT for two-way volumes on roadways within the area of influence are depicted in Table 1 based on the latest data.

Table 1: Average Annual Daily Traffic Volumes (vehicles per day)

Roadway	AADT (Year)
Providence Road south of Weddington Road	29,000 (2021)
Weddington Road east of Providence Road	20,000 (2021)

Crash frequency and crash type per intersection is reported in Tables 2 and 3 respectively with data ranging from January 1, 2018, to December 31, 2022.

Table 2: Crash Data from 2018-2022

Intersection	Severity Type			Total Crashes
	K Injury	B & C Injury Crashes	PDO Crashes	
Providence Road & Weddington Road	0	8	66	74

Notes:

K: Fatality **B:** B injury type (evident), **C:** injury type (possible), **PDO:** Property Damage Only



Table 3: Crash Type from 2018-2022

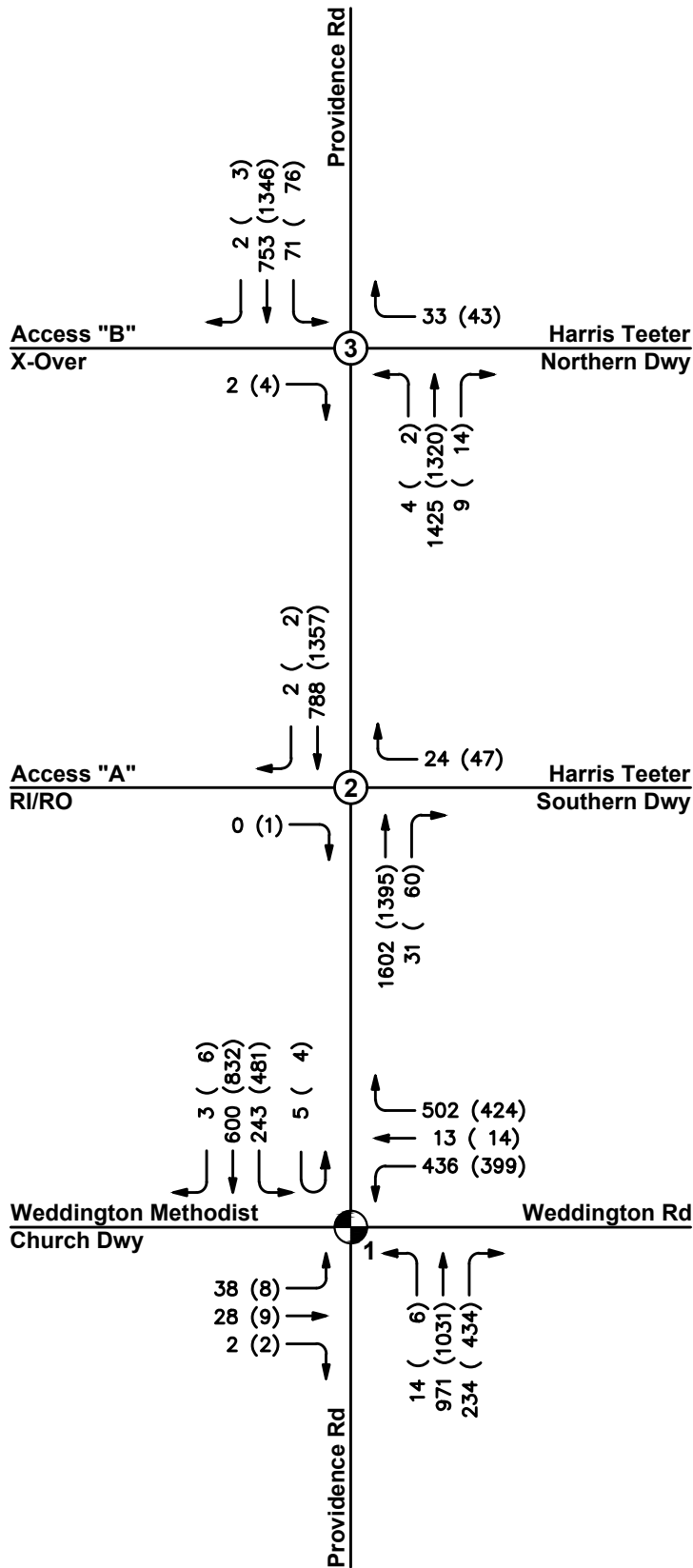
Intersection	Crash Type				
	Frontal Impact	Rear End Crashes	Sideswipe	Pedestrian	Bicycle
Providence Road & Weddington Road	8	55	8	1	0

Figure 2 portrays the existing TMCs for the AM and PM peak hours. Figure 3 includes the site directional distribution for the development. These directional distribution percentages were approved by Town of Weddington staff per existing traffic patterns.

LEGEND

-  Traffic Signal
-  Stop Sign Control
-  Directional Movement

VOLUMES: AM (PM)



Note: Volumes were balanced in all Synchro models.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

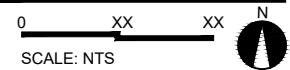
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704.343.0608
www.drggrp.com

WEDDINGTON ROAD OFFICE PARK TIA

WEDDINGTON, NC

POLIVKA INTERNATIONAL
13700 PROVIDENCE ROAD SUITE 200
WEDDINGTON, NC 28104

EXISTING PEAK HOUR TRAFFIC VOLUMES



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DRAWN BY: PAH
CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

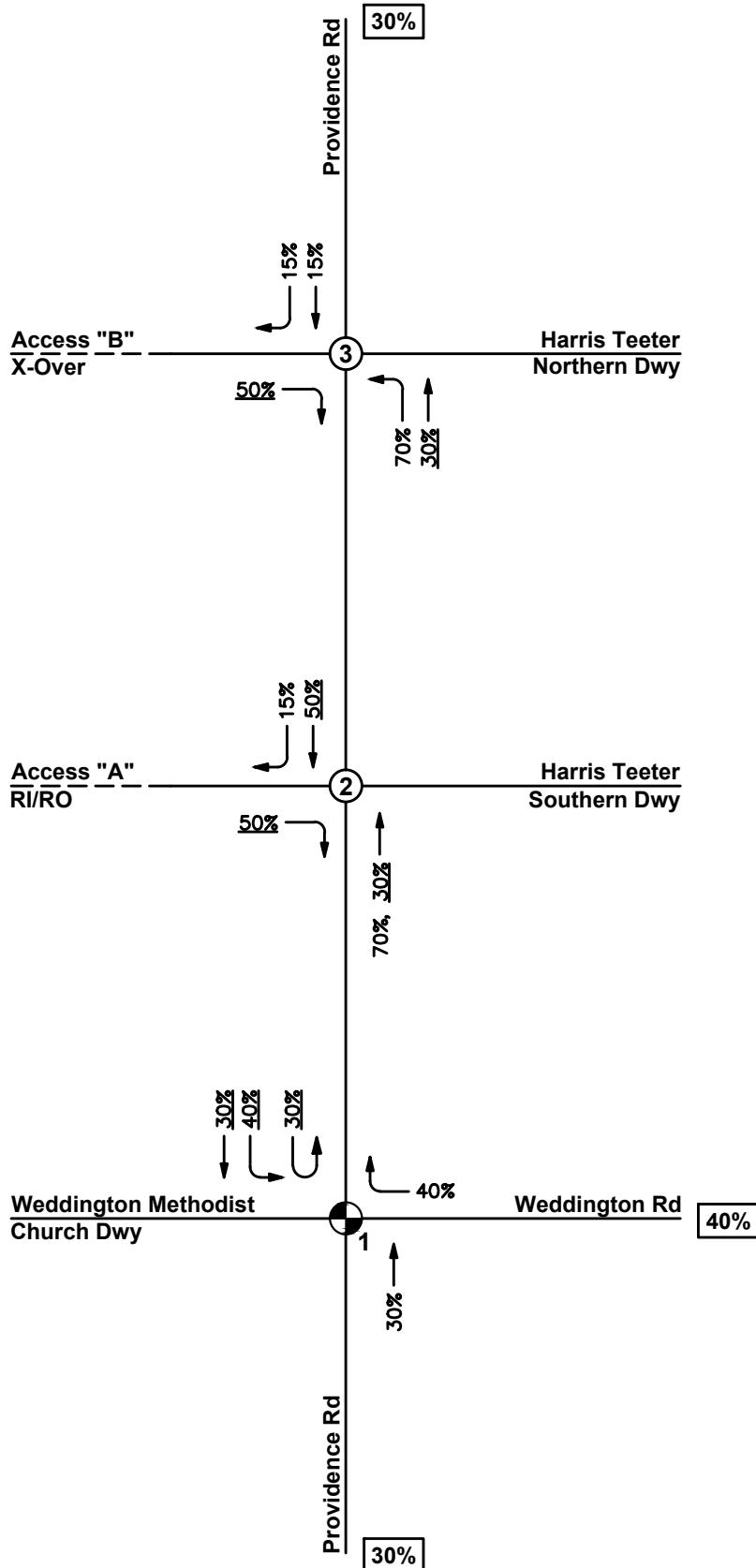
1. May 2024

Figure 2

LEGEND

-  Traffic Signal
-  Stop Sign Control
-  Directional Movement

xx%/xx% Enter/Exit Distribution Percentage



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

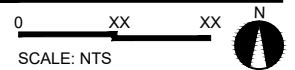
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WEDDINGTON, NC

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SITE DIRECTIONAL DISTRIBUTION



PROJECT #: 1082-001
DRAWN BY: PAH
CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

1.	

Figure 3



PROJECTED TRAFFIC

The daily and peak-hour trip generation data for the site is presented in Table 4. Values derived for the anticipated trips generated by the site are obtained from the Institute of Transportation Engineers, Trip Generation Manual, 11th Edition, 2021.

Table 4: Trip Generation

Land Use [ITE Code]			Daily	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
General Office [710]	10,000	SF	157	20	3	23	4	21	25
Medical Office [720]	10,000	SF	322	24	6	30	11	27	38
Total Trips			479	44	9	53	15	48	63

References:

Trip Generation, 11th Edition, Institute of Transportation Engineers, Washington, DC. 2021.

The trip generation results indicate that the development is expected to generate 53 new AM peak hour trips and 63 new PM peak hour trips.

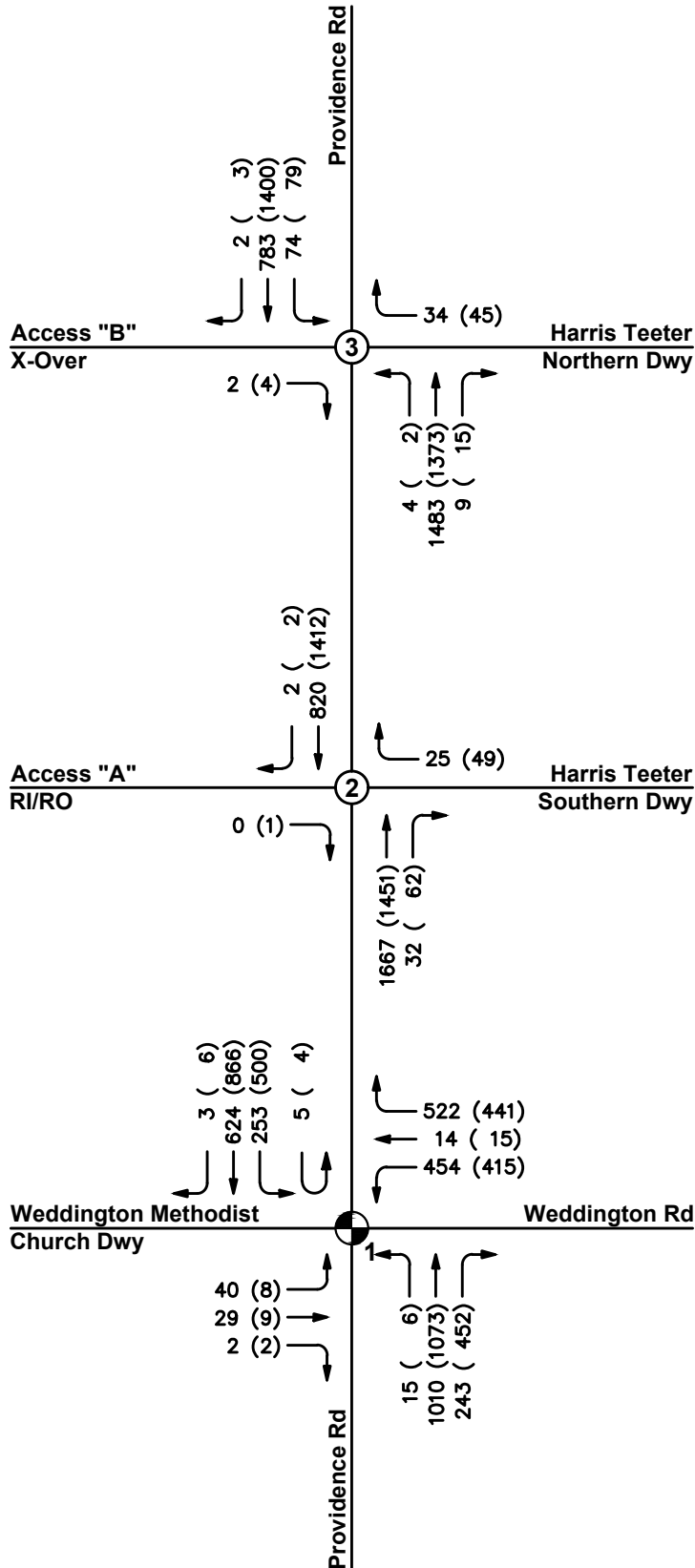
The projected background traffic volumes used in the analyses were developed from the existing peak hour TMCs. Per Town of Weddington staff, a 2% per year growth rate was used for the 2025 background volumes. The No Build volumes for the AM and PM peaks are presented in Figures 4. The 2025 AM and PM Build conditions peak hour traffic volumes are presented in Figures 5 and 6 respectively. The background traffic is indicated to the far left of the movement arrows and the site traffic in parentheses. The two are added to obtain the projected total traffic for that movement:

$$\underline{\text{Background} + (\text{Site}) = \text{Total}}$$

LEGEND

-  Traffic Signal
-  Stop Sign Control
-  Directional Movement

VOLUMES: AM (PM)



Note: Volumes were balanced in all Synchro models.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

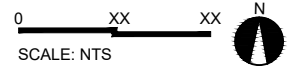
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WEDDINGTON ROAD OFFICE PARK TIA

WEDDINGTON, NC

POLIVKA INTERNATIONAL
13700 PROVIDENCE ROAD SUITE 200
WEDDINGTON, NC 28104

**2025 NO BUILD
PEAK HOUR
TRAFFIC
VOLUMES**



SCALE: NTS

PROJECT #: 1082-001
DRAWN BY: PAH
CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

1. May 2024

Figure 4



TRAFFIC ANALYSIS

The study intersections identified within the area of influence were analyzed to detect the traffic impact that the development has under the build-out (2025) during the morning (7:00-9:00 AM) and afternoon (4:00-6:00 PM) peak periods. The traffic analysis evaluates the following measures of effectiveness' (MOEs) and their respective criteria at the intersections assuming the future year conditions of 2025.

Level of service (LOS) of an intersection or approach is a qualitative MOE of traffic operations. It is a measure of average control delay in time within a peak period. The Transportation Research Board's Highway Capacity Manual¹ (HCM) defines the LOS thresholds established for signalized and unsignalized intersections per the following exhibits:

Intersection LOS	Exhibit 19-8 Signalized Intersection Control Delay per Vehicle (sec/vehicle)	Exhibit 20-2 Unsignalized Intersection Control Delay per Vehicle (sec/vehicle)
A	≤10.0	≤ 10.0
B	> 10.0 and ≤ 20.0	> 10.0 and ≤ 15.0
C	> 20.0 and ≤ 35.0	> 15.0 and ≤ 25.0
D	> 35.0 and ≤ 55.0	> 25.0 and ≤ 35.0
E	> 55.0 and ≤ 80.0	> 35.0 and ≤ 50.0
F	>80.0	> 50.0

For the analysis of unsignalized intersections, intersection LOS is defined in terms of the average control delay for each minor-street movement (or shared movement) as well as major-street left-turns. It should be noted that stop sign controlled streets/driveways intersecting major streets typically experience long delays during peak hours, while most of the traffic moving through the intersection on the major street experiences little or no delay.

This report provides analysis of the traffic operations within the area of influence, according to the standards set by the North Carolina Department of Transportation's (NCDOT) "Policy on Street and Driveway Access to North Carolina Highways, Chapter 4 Part C" and Union County. It provides intersection improvements needed for mitigating traffic impacts. This study evaluates the following scenarios:

- Existing Conditions
- 2025 No Build Conditions
- 2025 Build-out Conditions

TOWN OF WEDDINGTON ANALYSIS REQUIREMENTS - In order to determine the mitigation responsibility of the developer, this study compares 2025 Build results to the 2025 No Build results.

Per Chapter 5, Section J of the *August 2003 NCDOT Policy on Street and Driveway Access to North Carolina Highways*, the applicant shall be required to identify mitigation improvements to the roadway network if at least one of the following conditions exists when comparing base network conditions to project conditions:

¹ National Research Council. Transportation Research Board. Highway Capacity Manual 6th Ed., Washington, DC. 2016.



- *The total average delay at an intersection or an individual approach increases by 25% or greater, while maintaining the same level of service,*
- *The Level of Service (LOS) degrades by at least one level at an intersection or an individual approach,*
- *Or the Level of Service is “F” for an intersection or an individual approach.*

This section of the NCDOT access policy also states that, *mitigation improvements shall be identified when the analysis indicates that the 95th percentile queue exceeds the storage capacity of the existing lane.*

SYNCHRO 11.1 was the software tool used in determining the delay, capacity and corresponding LOS at the study intersections. SimTraffic 11.1, a traffic simulation software application for unsignalized and signalized intersections, was used to calculate the maximum queue lengths at the study intersections. The Synchro and SimTraffic results of each scenario is displayed per intersection and are presented in Tables 5 – 10. Analysis software result reports per scenario are provided in the Appendix.

Base assumptions for the analysis scenarios include:

- A 2% per year background growth rate between the existing and future 2025 years was used for all study intersections
- Volumes were balanced between intersections in all Synchro files
- All study intersections and movements assume a 0.90 peak hour factor (PHF)
- Observed heavy vehicle percentages (from TMCs) were used in all analysis for all intersections, a minimum of 2% was applied to proposed intersections.
- Existing signal plans were used in the Existing, No Build and Build conditions, coded based on the NCDOT Congestion Management Capacity Analysis Guidelines (2015) See Appendix for existing signal plans
- Right turn on red (RTOR) was disabled
- Yellow and red times were adjusted to 5 seconds and 2 seconds, respectively with -2 seconds of lost time adjustment
- Signal timings as given by the signal plan were utilized and the intersections were optimized through all scenarios
- Permitted-protected and permitted left-turns were adjusted to protected only where applicable
- Westbound right-turn overlap was removed at the intersection of Providence Road & Weddington Road to remove conflict with the southbound U-turn movement produced by the analysis software. Right turn on red was allowed for the westbound movement only in order to account for this and most accurately depict the real world operations.



1. Providence Road & Weddington Road (Signalized)

Table 5: Providence Rd & Weddington Rd Analysis Results

Approach	AM Peak Hour			PM Peak Hour		
	LOS	Delay (sec/veh)	Capacity (v/c)	LOS	Delay (sec/veh)	Capacity (v/c)
Existing Conditions						
Intersection	D	41.9	0.95	C	31.6	0.82
Eastbound - Weddington Methodist Church Dwy	E	71.1	-	D	54.5	-
Westbound - Weddington Rd	D	45.9	-	D	39.7	-
Northbound - Providence Rd	D	35.8	-	C	29.0	-
Southbound - Providence Rd	D	44.2	-	C	29.0	-
2025 No Build Conditions						
Intersection	D	48.4	1.03	C	33.6	0.87
Eastbound - Weddington Methodist Church Dwy	E	74.2	-	D	54.5	-
Westbound - Weddington Rd	E	57.4	-	D	44.7	-
Northbound - Providence Rd	D	42.1	-	C	29.5	-
Southbound - Providence Rd	D	45.2	-	C	31.0	-
2025 Build Conditions						
Intersection	D	52.3	1.02	C	34.9	0.89
Eastbound - Weddington Methodist Church Dwy	E	74.3	-	D	53.5	-
Westbound - Weddington Rd	E	55.6	-	D	47.3	-
Northbound - Providence Rd	D	51.4	-	C	30.9	-
Southbound - Providence Rd	D	47.8	-	C	31.3	-

Existing Conditions

Currently, the intersection operates at LOS “D” during the AM peak hour and LOS “C” during the PM peak hour.

2025 No Build Conditions

With the inclusion of growth in the background traffic, the intersection operates at LOS “D” during the AM peak hour and LOS “C” during the PM peak hour.

2025 Build Conditions

When comparing the impact of the 2025 Build to the 2025 No Build conditions, the intersection continues to operate at LOS “D” during the AM peak hour and LOS “C” during the PM peak hour. The overall intersection delay increases by 8% in the AM peak hour and 4% in the PM peak hour. **Therefore, no developer required improvements should be deemed necessary at this study intersection.**



Table 6: Providence Rd & Weddington Rd Queue Lengths

Weddington Methodist Church Dwy/Weddington Rd & Providence Rd	Storage (ft)	AM PEAK		PM PEAK	
		95th % Queue	Max Queue	95th % Queue	Max Queue
2025 No Build Conditions					
Eastbound Left-Thru-Right Turn Lane (Weddington Methodist Church Dwy)	-	#133	150'	44'	59'
Westbound Left-Turn (Weddington Rd)	550'	268	376'	#307'	251'
Westbound Thru-Left Turn (Weddington Rd)	-	264	481'	#300'	290'
Westbound Right-Turn (Weddington Rd)	325'	#634	402'	#328'	324'
Northbound Left-Turn (Providence Rd)	500'	37	59'	21'	34'
Northbound Thru (Providence Rd)	-	#611	478'	#554'	454'
Northbound Right-Turn (Providence Rd)	450'	51	188'	191'	252'
Southbound Left-Turn (Providence Rd)	375'	#203	263'	#330'	304'
Southbound Thru-Right Turn (Providence Rd)	-	278	285'	344'	311'
2025 Build Conditions					
Eastbound Left-Thru-Right Turn Lane (Weddington Methodist Church Dwy)	-	#133'	126'	44'	72'
Westbound Left-Turn (Weddington Rd)	550'	261'	384'	#318'	285'
Westbound Thru-Left Turn (Weddington Rd)	-	257'	520'	#311'	328'
Westbound Right-Turn (Weddington Rd)	325'	#653'	423'	#345'	388'
Northbound Left-Turn (Providence Rd)	500'	37'	165'	21'	33'
Northbound Thru (Providence Rd)	-	#647'	708'	#595'	435'
Northbound Right-Turn (Providence Rd)	450'	51'	377'	199'	228'
Southbound Left-Turn (Providence Rd)	375'	#208'	223'	#351'	318'
Southbound Thru-Right Turn (Providence Rd)	-	288'	261'	350'	324'

When comparing the Build with Improvements conditions to the No Build conditions from the queueing and blocking reports, no storage lane extension should be deemed necessary.



2. Providence Road & Access “A” (Unsignalized)

Table 7: Providence Rd & Access “A” Analysis Results

Approach	AM Peak Hour			PM Peak Hour		
	LOS	Delay (sec/veh)	Capacity (v/c)	LOS	Delay (sec/veh)	Capacity (v/c)
Existing Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "A"	B	11.7	-	C	15.4	-
Westbound - Harris Teeter Southern Dwy	C	19.3	-	C	18.4	-
Northbound - Providence Rd	A	0.0	-	A	0.0	-
Southbound - Providence Rd	A	0.0	-	A	0.0	-
2025 No Build Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "A"	B	12.0	-	C	15.9	-
Westbound - Harris Teeter Southern Dwy	C	20.3	-	C	19.4	-
Northbound - Providence Rd	A	0.0	-	A	0.0	-
Southbound - Providence Rd	A	0.0	-	A	0.0	-
2025 Build Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "A"	B	12.0	-	C	17.0	-
Westbound - Harris Teeter Southern Dwy	C	20.8	-	C	19.8	-
Northbound - Providence Rd	A	0.0	-	A	0.0	-
Southbound - Providence Rd	A	0.0	-	A	0.0	-

Existing Conditions

Currently, the worst leg of the intersection (westbound) operates at LOS “C” during both the AM and PM peak hours.

2025 No Build Conditions

With the inclusion of growth in the background traffic, the worst leg of the intersection (westbound) operates at LOS “C” during both the AM and PM peak hours.

2025 Build Conditions

The existing right-in/right-out driveway is intended to be used as access to the proposed development.

When comparing the impact of the 2025 Build to the 2025 No Build conditions, the worst leg of the intersection (westbound) continues to operate at LOS “C” during both the AM and PM peak hours. The delay on the worst leg of the intersection increases by 2% in the AM peak hour and 2% in the PM peak hour.

Therefore, no developer required improvements should be deemed necessary at this study intersection.



Table 8: Providence Rd & Access “A” Queue Lengths

Access "A"/Harris Teeter Southern Dwy @ Providence Rd	Storage (ft)	AM PEAK		PM PEAK	
		95th % Queue	Max Queue	95th % Queue	Max Queue
2025 No Build Conditions					
Eastbound Right-Turn Lane (Access "A")	TERM.	0'	30'	0'	30'
Westbound Right-Turn (Harris Teeter Southern Dwy)	TERM.	8'	62'	15'	120'
Northbound Thru-Right Turn (Providence Rd)	-	0'	49'	0'	30'
Southbound Thru-Right Turn (Providence Rd)	-	0'	10'	0'	12'
2025 Build Conditions					
Eastbound Right-Turn Lane (Access "A")	TERM.	0'	30'	8'	66'
Westbound Right-Turn (Harris Teeter Southern Dwy)	TERM.	10'	74'	18'	83'
Northbound Thru-Right Turn (Providence Rd)	-	0'	25'	0'	20'
Southbound Thru-Right Turn (Providence Rd)	-	0'	9'	0'	60'

When comparing the Build with Improvements conditions to the No Build conditions from the queueing and blocking reports, no storage lane extension should be deemed necessary.



3. Providence Road & Access “B” (Unsignalized)

Table 9: Providence Rd & Access “B” Analysis Results

Approach	AM Peak Hour			PM Peak Hour		
	LOS	Delay (sec/veh)	Capacity (v/c)	LOS	Delay (sec/veh)	Capacity (v/c)
Existing Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "B"	B	11.7	-	C	15.4	-
Westbound - Harris Teeter Northern Dwy	C	19.8	-	C	18.0	-
Northbound - Providence Rd	A	0.0	-	A	0.0	-
Southbound - Providence Rd	A	1.5	-	A	0.9	-
2025 No Build Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "B"	B	12.0	-	C	15.9	-
Westbound - Harris Teeter Northern Dwy	C	20.9	-	C	18.9	-
Northbound - Providence Rd	A	0.0	-	A	0.0	-
Southbound - Providence Rd	A	1.6	-	A	0.9	-
2025 Build Conditions						
Intersection	NA	NA	-	NA	NA	-
Eastbound - Access "B"	B	12.1	-	C	16.9	-
Westbound - Harris Teeter Northern Dwy	C	20.9	-	C	19.0	-
Northbound - Providence Rd	A	0.2	-	A	0.1	-
Southbound - Providence Rd	A	1.6	-	A	0.9	-

Existing Conditions

Currently, the worst leg of the intersection (westbound) operates at LOS “C” during both the AM and PM peak hours.

2025 No Build Conditions

With the inclusion of growth in the background traffic, the worst leg of the intersection (westbound) operates at LOS “C” during both the AM and PM peak hours.

2025 Build Conditions

The existing right-in/right-out/left-in driveway is intended to be used as access to the proposed development.

When comparing the impact of the 2025 Build to the 2025 No Build conditions, the worst leg of the intersection (westbound) operates at LOS “C” during both the AM and PM peak hours. The delay on the worst leg of the intersection does not increase in the AM peak hour and increases by less than 1% in the PM peak hour.

Therefore, no developer required improvements should be deemed necessary at this study intersection.



Table 10: Providence Rd & Access “B” Queue Lengths

Access "B"/ Harris Teeter Northern Dwy @ Providence Rd	Storage (ft)	AM PEAK		PM PEAK	
		95th % Queue	Max Queue	95th % Queue	Max Queue
2025 No Build Conditions					
Eastbound Right-Turn (Access "B")	TERM.	0'	30'	0'	34'
Westbound Right-Turn (Harris Teeter Northern Dwy)	TERM.	13'	66'	15'	75'
Northbound Left-Turn (Providence Rd)	225'	0'	29'	0'	30'
Northbound Thru-Right Turn (Providence Rd)	-	0'	13'	0'	39'
Southbound Left-Turn (Providence Rd)	325'	28'	111'	23'	87'
Southbound Thru-Right Turn (Providence Rd)	-	0'	0'	0'	0'
2025 Build Conditions					
Eastbound Right-Turn (Access "B")	TERM.	0	30'	8'	59'
Westbound Right-Turn (Harris Teeter Northern Dwy)	TERM.	13	62'	15'	62'
Northbound Left-Turn (Providence Rd)	225'	5	49'	3'	47'
Northbound Thru-Right Turn (Providence Rd)	-	0	4'	0'	8'
Southbound Left-Turn (Providence Rd)	325'	28	102'	23'	85'
Southbound Thru-Right Turn (Providence Rd)	-	0	4'	0'	91'

When comparing the Build with Improvements conditions to the No Build conditions from the queueing and blocking reports, no storage lane extension should be deemed necessary.

The existing/suggested laneage is shown on Figures 7 and 8, respectively.

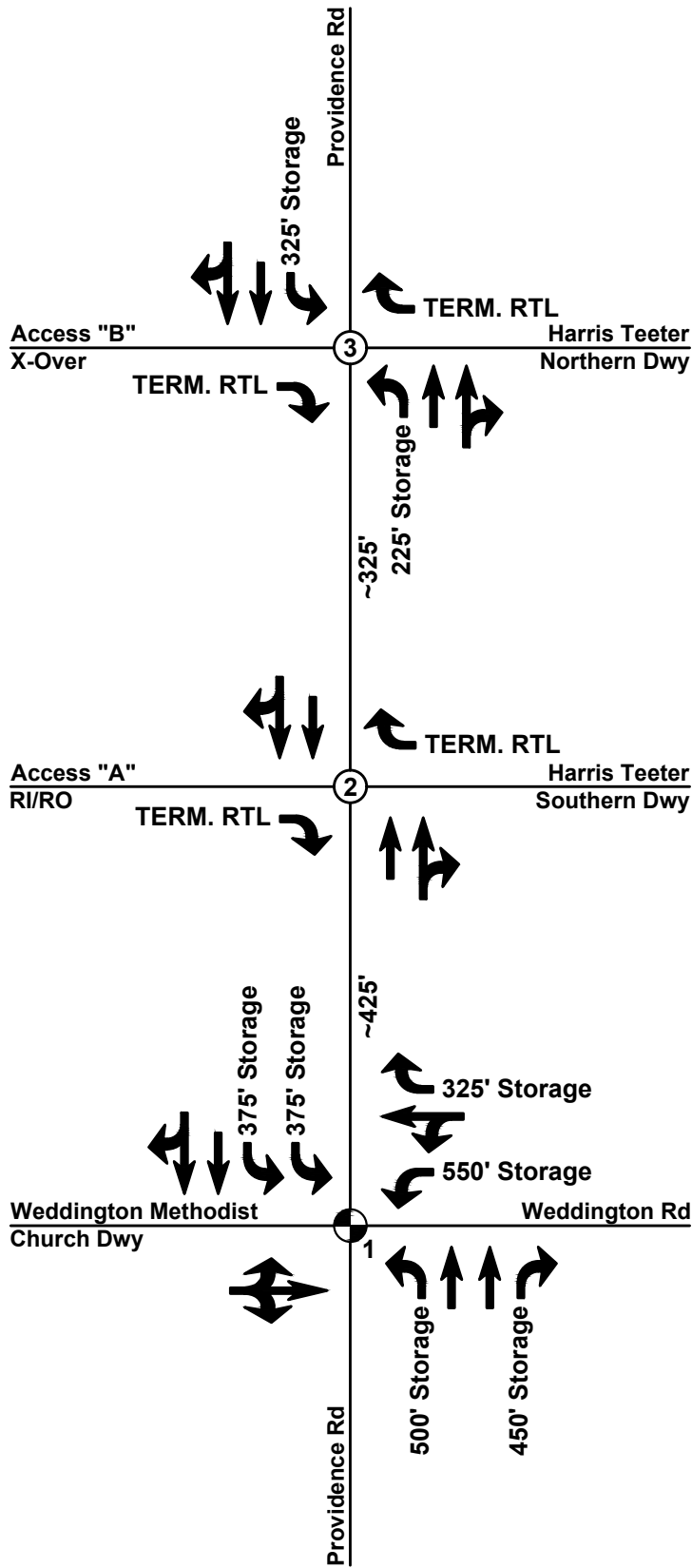
LEGEND

-  Traffic Signal
-  Stop Sign Control
-  Existing Laneage



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

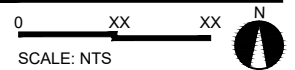
2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drggrp.com



WEDDINGTON ROAD OFFICE PARK TIA
WEDDINGTON, NC

POLIVKA INTERNATIONAL
13700 PROVIDENCE ROAD SUITE 200
WEDDINGTON, NC 28104

EXISTING LANEAGE



PROJECT #: 1082-001
DRAWN BY: PAH
CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

1.	

Figure 7

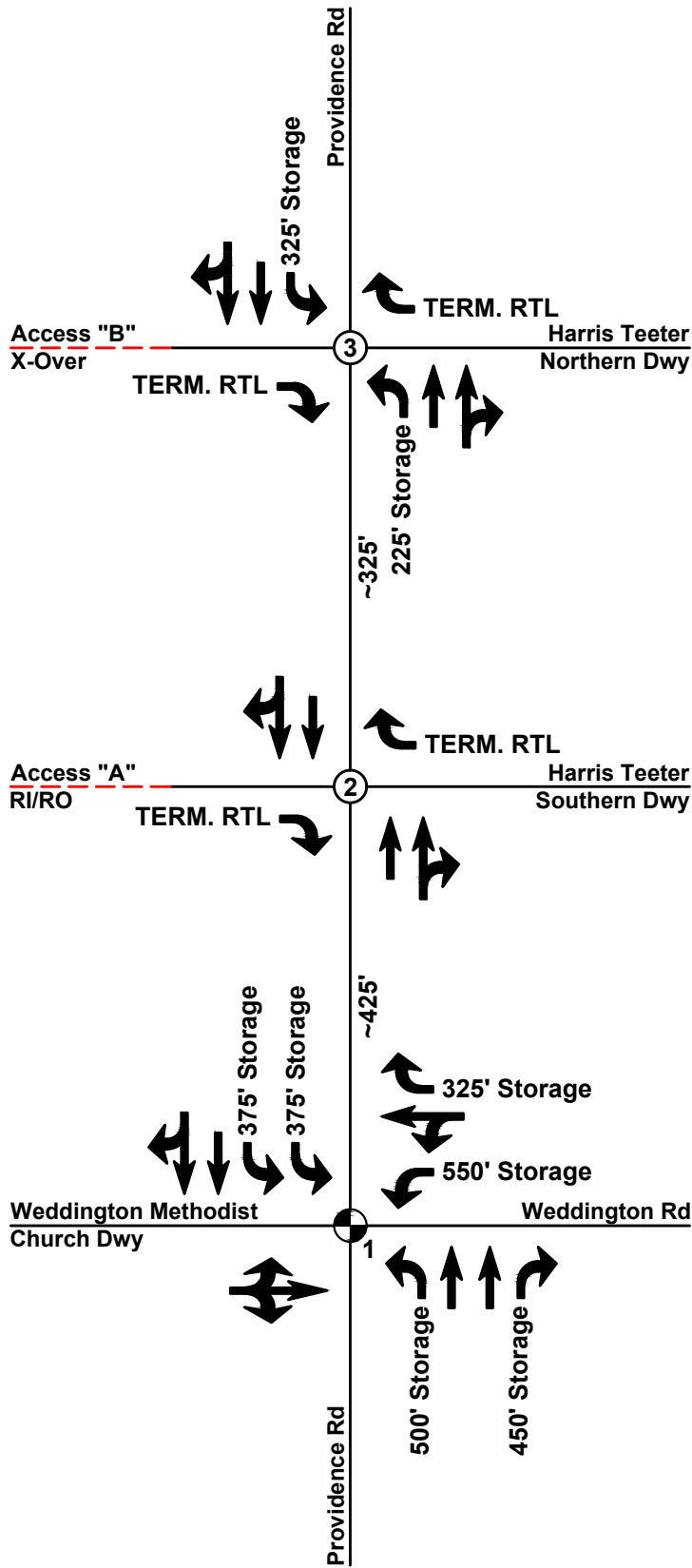
LEGEND

-  Traffic Signal
-  Stop Sign Control
-  Existing Laneage
-  Suggested Laneage



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

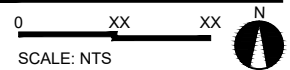
2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drggp.com



WEDDINGTON ROAD OFFICE PARK TIA
WEDDINGTON, NC

POLIVKA INTERNATION
13700 PROVIDENCE ROAD SUITE 200
WEDDINGTON, NC 28104

SUGGESTED LANEAGE



PROJECT #: 1082-001
DRAWN BY: PAH
CHECKED BY: REG

FEBRUARY 2024

REVISIONS:

1.	

Figure 8



CONCLUSION

In conclusion, even though the proposed office/medical office development will slightly increase the amount of vehicular traffic on the adjacent roadways/corridors, the existing/future and no build intersection operations are not expected to be materially impacted, assuming the existing access configurations.



APPENDIX

APPENDIX 5. ARCHITECTURAL STANDARDS.

Sec. 14-101. - Purpose and intent.

The purpose of establishing supplementary requirements for development is to ensure that the physical characteristics of proposed development are compatible when considered within the context of the surrounding areas and to preserve the unique visual character of the Town of Weddington. These requirements strike a balance between creativity and innovation on one hand while avoiding obtrusive, incongruous structures on the other. The Town of Weddington strongly encourages architectural styles that build upon and promote the existing historic character of the town and supports the view that inspiring, well-maintained, and harmonious development is in the best economic development interests of all residents and businesses.

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-102. - Applicability.

The standards described or referenced in this section shall apply to all nonresidential development, including renovations, remodelings, face lifts, repainting and additions to existing structures within the zoning jurisdiction of the Town of Weddington. All such projects that require a conditional use permit, a modification to a CUP, or conditional zoning shall be required to meet these standards.

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-103. - General compatibility requirement.

All development subject to this section shall be compatible with the character of the town by using a design that is complementary to existing town architectural styles, designs and forms. Compatibility shall be achieved through techniques such as the repetition of roof lines, the use of similar proportions in building mass and outdoor spaces, similar relationships to the street, similar window and door patterns, and the use of building materials that have color, shades and textures similar to those existing in the immediate area of the proposed development.

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-104. - Modification of standards.

The zoning administrator, his designee, or the design review board may make modifications to the following standards upon the written request of the applicant if the standard(s) in question conflicts with other requirements by law, as long as the proposal is in compliance with the purpose and intent of these standards and general compatibility requirements given above. If the applicant and zoning administrator, his designee, or the design review board cannot come to an agreement the proposal shall be submitted to the planning board for recommendation at their next meeting and to the town council for final decision.

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-105. - Conflicting requirements.

Where these requirements conflict with each other or with any requirement of the zoning ordinance or subdivision regulations, the stricter, more visually compatible or more appropriate standards shall apply as determined by the zoning administrator. Any modifications necessary shall be made with the approval of the zoning administrator, his designee, or the design review board.

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-106. - Overall design and appearance standards.

- (a) *Applicability.* All nonresidential development within the zoning jurisdiction of the Town of Weddington shall meet these overall design and appearance standards.
- (b) *Basic building design.*
 - (1) *Scale:* Building design shall emphasize a human scale at ground level, at entryways and along street frontages through the creative use of such features as windows, doors, columns, canopies, arcades, awnings, decks and porches.
 - (2) *Avoiding monotony:* Monotony of design in single or multiple building projects shall be avoided by varying detail, form and siting to the maximum extent practicable, within the standards set forth in these requirements.
 - (3) *Unify individual storefronts:* If several storefronts are located in one building, the individual storefronts shall be unified in all exterior design elements, such as mass, window and door placement, color, materials and signage while, at the same time, varying the look and providing distinctiveness from storefront to storefront.
- (c) *Architectural features.*
 - (1) *Roofs:* Roof lines shall be varied to reduce the scale of structures and add visual interest including gables, windows, dormers where possible.
 - (2) *Facades:* All facades, including front and side facades and all rear facades that are visible from any public roadway or sidewalk or from private property, that are greater than 100 feet in length, measured horizontally, shall be interrupted by recesses, projections, windows, awnings and/or arcades and shall utilize a repeating pattern of change in color, texture and material modules.
 - (3) All facades clearly visible from public streets or adjoining properties shall contribute to the scale of features of the building and feature characteristics similar to the front facade.
 - (4) *Entryways:* Each principal building on a site shall have one or more clearly defined, highly visible customer entrances featuring one or more of the following: Canopies or porticos, arcades, arches, wing walls and/or planters.
 - (5) *Materials:* Predominant exterior building materials shall be high quality materials, including brick, stucco, wood, stone and tinted/textured decorative concrete masonry units or other materials similar in appearance and durability. Under no circumstances shall unfinished concrete block be permitted.
 - (6) *Colors:* Colors used for exterior surfaces shall be harmonious with surrounding development and shall visually reflect the traditional concept of the town. Color shades shall be used to facilitate blending into the neighborhood. Facade colors shall be of low reflectance earth tone, muted, subtle or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entryways and public amenities so as to give greater recognition to these features. Color samples shall be provided to the staff at the time of site plan review and prior to any renovations, remodelings, facelifts and repainting, along with a description of how and where each color will be used. Colored renderings are encouraged, but shall not be a substitute for this requirement.
- (d) *Parking lots.* To prevent huge expanses of asphalt separating nonresidential buildings from streets, parking will be separated into sections separated by landscaping and other features. Larger parking areas shall be split into sections on different sides of the building or enclosed in an interior space between buildings so as not to be easily visible from the street in order to emphasize the building and de-emphasize the parking lot.
- (e) *Trash containment areas.* All trash containment devices, including compactors and dumpsters, shall be located and designed so as not to be visible from the view of nearby streets and properties. If the device is not visible from off the site, then it need not be screened. The type of screening used shall be determined based on the proposed location of the trash containment area, existing site conditions and the type and amount of existing and proposed vegetation on the site. Trash containment areas must be constructed of materials in similar color and nature to the primary structure.
- (f) *Mechanical and utility equipment.* Mechanical and utility equipment shall be screened from view from nearby streets and properties in the same manner as trash containment areas. Ground mounted equipment shall be located in the rear

or side yard and screened. Such equipment located on the roof of the building shall also be made invisible from nearby streets and properties, through the use of setbacks from the edge of the roof or through the use of a screen exceeding the height of the equipment and using building materials and design which are compatible with those used for the exterior of the building. If the equipment is not visible from off the site, then it need not be screened. The type of screening used shall be determined based on the proposed location of the equipment, existing site conditions, and the type and amount of existing and proposed vegetation on the site.

- (g) *Landscape protection.* Any damage to the existing landscaping, including street trees, by development, use or condition of private property shall be corrected by the property owner at the owner's expense to the satisfaction of the Town of Weddington prior to the issuance of a certificate of occupancy. Any damage not corrected by the owner shall be corrected by the town, the cost of which is to be billed to the owner, including town administrative costs.
- (h) *Cultural resources.* Site development shall be considered in light of impacts on the cultural resources of the Town of Weddington. Cultural resources include historic properties, points of high elevation, significant sites and mature exceptional trees. Impacts on cultural resources shall be minimized by use of design, height, massing, scale, building orientation, site layout, visual and other development techniques to harmoniously integrate new development into the town while preserving and using cultural resources.
- (i) *Lighting.* Lighting shall conform to the requirements of [Appendix 4](#).

(Ord. No. O-2009-10, 7-13-2009)

Sec. 14-107. - Additional standards.

- (a) *Applicability.* All nonresidential development shall meet these standards, in addition to those described in overall design and appearance standards.
- (b) *Basic building design.*
 - (1) *Massing:* A single, large, dominant building mass shall be avoided. Where large structures are required, mass shall be broken up through the use of setbacks, projecting and recessed elements and similar design techniques.
 - (2) *Varying architectural styles:* In developments with multiple structures of varying architectural styles, buildings shall be compatible by such means as a pattern of architectural features, similar scale and proportions and consistent location of signage.
 - (3) *Additions and renovations:* Building additions and facade renovations shall be designed to reflect existing buildings in scale, materials, window treatment and color. A change in scale may require a transitional design element between the new development and existing buildings.
 - (4) *Infill development:* New infill development shall either be similar in size and height or, if larger, be articulated and subdivided into massing that is proportional to the mass and scale of other structures in the area.
- (c) *Architectural features.*
 - (1) *Roofs:* Roof lines, type (such as flat, hip, mansard or gable), and materials shall be architecturally compatible with facade elements and the rest of the building and with other buildings on the same and adjoining area.
 - (2) *Fenestration:* Windows, entryways, awnings and arcades shall total at least 60 percent of the facade length abutting a public street. Windows and glass doors shall be clear, transparent glass. No window or door shall be horizontally separated by more than 15 feet from the nearest other window or door in the same facade visible from any public street.
 - (3) *Materials:* Building materials shall either be similar to the materials already being used in the neighborhood or, if dissimilar materials are being proposed, other characteristics such as scale and proportions, form, architectural detailing, color and texture, shall be utilized to ensure that enough similarity exists for the building to be compatible, despite the differences in materials.
 - (4) *Exterior wall cladding:* During renovations in existing buildings brick, stone or wood facades shall not be covered or replaced with artificial siding or panels, including decorative concrete masonry units. Fiber cement siding, such as the brand name "Hardiplank", may be used to replace wood clapboard siding.

- (5) *Awnings and canopies:* When used, awnings and canopies shall be placed at the top of window or doorway openings and shall relate to the shape of the top of the window. Awnings shall be made of canvas, treated canvas or similar material. Metal or vinyl (or plastic) awnings are prohibited. No awning shall extend more than the width of the sidewalk or nine feet, whichever is less. Awnings must be self-supporting from the wall. No supports shall rest on or interfere with the use of pedestrian walkways or streets. In no case shall any awning extend beyond the street curb or interfere with street trees or public utilities.
- (6) Canopies shall be of solid materials and complement the color of the building to which they are affixed or associated. In some cases canopies may have supports separate from the building, such as at gas stations, but such canopies must be setback from the property and right-of-way lines a minimum of the required setback of accessory buildings, as required in the zoning district where located, and must not interfere with street trees or public utilities.

(Ord. No. O-2009-10, 7-13-2009)



November 27, 2024

Re: 13700 Providence Road

Dear Town Council Member,

13700 Providence Road, LLC is requesting a Conditional Zoning for the property that currently houses an office building for the petitioner's business and a healthcare tenant. The Town of Weddington assigned a MX Zoning to the property, which allows a mix of uses including shopping centers, restaurants, offices, convenience stores, day cares, conference centers and dry cleaners. The petitioner is asking for the approval to develop two small office buildings, restricted to general office and medical offices. Weddington's Planning website outlines that their *"goal is to collaboratively work with the citizens and new developments to create a place where people live, work and play in a safe environment"*. The proposed petition honors this goal.

The petitioner has provided every study and exhibit that is outlined in Weddington's Unified Development Ordinance (UDO). The completeness of the submittal has been confirmed by the Town Planner. We have included these studies in this submittal, including the Traffic Impact Study Summary, Septic System drawings, Civil Engineering reports regarding stormwater, Landscape / Lighting Drawings, Survey, Architectural Drawings and renderings. The proposed style of architecture and details will match the existing building's Georgian style of architecture.

The proposed development meets all MX Zoning regulations as well as meets UDO Section 917C(A)(3). This regulation outlines that any non-residential use within 50' of a residentially zoned property is restricted to 35' in height. The adjacent property to the south is zoned residential, but contains a 53' tall church with a parking lot between the church and 13700. The proposed height of both buildings is 35' to the ridge.

Thank you for your support these two small, compliant office buildings.

Sincerely,

Stephen F. Overcash, RA
Principal

October 9, 2024

Town of Weddington
Attn: Planning Board
1924 Weddington Road
Weddington, NC 28104

Re: 13700 Providence Road
Matthews, NC
DPR Project #: 24065



To whom it may concern:

A preliminary engineering analysis was performed for the project site located at 13700 Providence Road in Matthews, North Carolina. This analysis allowed us to determine the necessary improvements that would need to be made to the existing stormwater control measure in order to accommodate the proposed increase in built-upon-area (BUA).

Per the Conditional Rezoning Architectural Site Plan prepared by ODA Architecture, approximately 0.70 acres of new impervious area is proposed. The existing stormwater for this site is managed by a dry detention basin and surface sand filter to provide both quantity and quality controls.

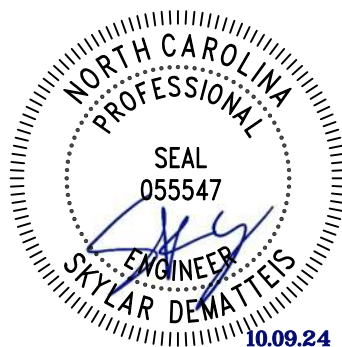
In order to accommodate the proposed 0.70 acres of increased BUA, the following modifications to the existing dry detention basin and surface sand filter are proposed:

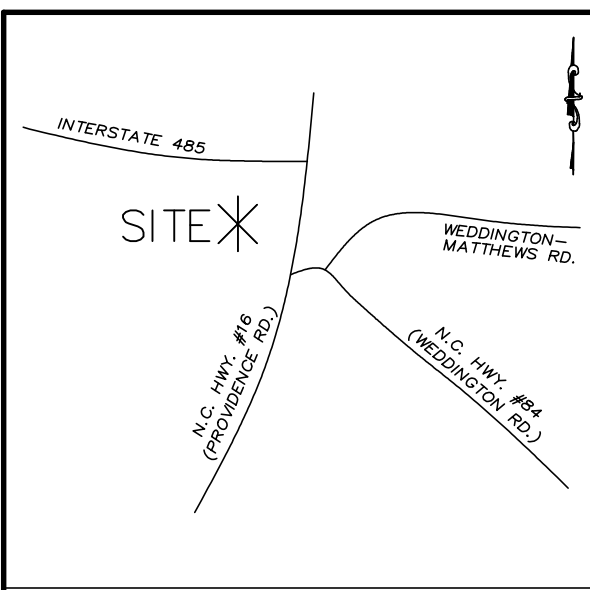
- Increase volume of current dry detention from 32,000 ft³ to 55,000 ft³ by providing a two ft. wall on the southern side of the basin and raising the top of the basin from 702.00 to 704.00.
- Minor modifications to the existing outlet control structure (rim elevation, orifices, weirs) and sand media will be required. This will be fully designed during the construction design phase and permitting with the Town of Weddington.

The proposed modifications meet the current Town of Weddington UDO requirements for stormwater management, including providing detention volume control up to the 100-year, 24-hour storm event.

Sincerely,

Skylar DeMatteis, PE
Civil Project Manager
DPR Design
sdematteis@dpr.design
(330)-844-0306





VICINITY MAP: N.T.S.

- LEGEND:**
- REBAR FOUND (AS NOTED)
 - #4 IRON SET
 - △ COMPUTED POINT
 - R/W RIGHT-OF-WAY
 - EIP EXISTING IRON PIPE
 - STORM WATER EASEMENT

WEDDINGTON UNITED METHODIST
 PID#06150045A
 DEED BK-5074 PG-746
 ZONED: RCD
 EXISTING USES: CHURCH

JAMES HUNTER
 PID#06150044
 DEED BK-1991 PG-752
 ZONED: RCD
 EXISTING USES: SINGLE FAMILY

13700 PROVIDENCE RD LLC
 DEED BK-4430 PG-860
 PID#06150045
 ZONED: MX
 EXISTING USES: GENERAL OFFICE

LOT 1
 104,455 SQ.FT.
 2.398 ACRES

LOT 2
 52,155 SQ. FT.
 1.197 AC.

LOT 3
 54,052 SQ. FT.
 1.241 ACRES

NANCY ANDERSON
 PID#06150044E
 DEED BK-1991 PG-752
 ZONED: RCD
 EXISTING USES: SINGLE FAMILY

APB

CEB2

TO CENTERLINE INTERSECTION
 N.C. HWY. 16 &
 N.C. HWY. 84

PROVIDENCE ROAD
 N.C. HWY #16
 VARIABLE R/W

OWNER:
 POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, STE 200
 WEDDINGTON, NC 28104
 TEL. NO. (704) 321-0802

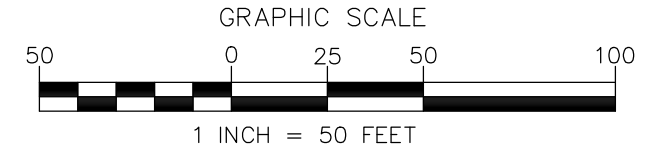
LINE #	LENGTH	DIRECTION
L1	17.27	S4°43'25"E
L2	19.98	S81°03'35"E
L3	20.50	N9°52'14"E
L4	27.68	N80°07'46"W
L5	18.09	S82°55'28"E

CURVE #	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	98.23	2297.41	98.22	S9°38'55"W	2.4497
C3	44.23	2074.50	44.23	S12°06'55"W	1.2217
C4	156.52	2457.76	156.50	S14°00'15"W	3.6489
C5	25.84	21.89	24.37	S49°44'34"W	67.6267
C6	7.77	18.08	7.71	N87°29'55"E	24.6209

CURVE #	LENGTH	RADIUS	CHORD	BEARING	DELTA
EC1	24.54	26.50	23.67	S52°35'56"E	53.0631
EC2	15.18	33.49	15.05	S67°14'39"E	25.9641
EC3	19.06	42.00	18.89	S67°09'55"E	25.9953
EC4	2.48	27.04	2.48	N52°51'52"E	5.2516
EC5	21.28	26.98	20.73	S78°06'25"W	45.1815
EC6	20.64	47.36	20.48	S88°15'00"W	24.9709
EC7	17.70	45.80	17.59	S87°09'00"W	22.1347
EC8	17.45	10.44	15.49	N42°33'42"W	95.7470
EC9	5.50	32.55	5.49	N2°52'53"E	9.6822

LINE #	LENGTH	DIRECTION
E1(TIE)	33.78	S53°05'46"W
E2	127.86	N15°16'26"E
E3	158.31	S75°51'49"E
E4	56.67	S35°28'09"E
E5	82.40	S4°29'44"W
E6	218.03	N78°27'38"W
E7	13.52	S76°36'20"E
E8	151.14	S79°58'03"E
E9	22.61	S38°09'26"E
E10(TIE)	200.21	S10°01'28"W
E11	1.77	S79°11'46"E
E12(TIE)	26.78	S38°09'26"E
E13	147.62	S79°58'03"E
E14	57.22	S76°36'20"E
E15	64.64	N76°30'30"E
E16	226.15	S2°01'32"W

LINE #	LENGTH	DIRECTION
E17	9.57	S84°56'31"E
E18	10.00	S50°3'29"W
E19	32.32	S84°56'31"E
E20	241.06	N10°17'47"E
E21	174.08	S76°31'32"W
E22	43.67	S63°15'21"W
E23	11.89	S79°07'49"E
E24	24.29	S79°33'07"E
E25	10.76	S54°10'04"E
E26	153.51	S80°07'46"E
E27	24.68	N79°15'46"W
E28	9.78	N80°49'37"W
E29	10.46	S73°34'00"W
E30	19.90	N80°06'53"W
E31	89.35	N80°06'53"W
E32	22.02	N02°5'57"W



PRELIMINARY FOR REVIEW ONLY

NOTE:
 THE TOPO PROVIDED BY THE PE CAN ONLY BE IN SUPPORT OF THE PE'S PROJECT AND CANNOT BE ISSUED TO BE RELIED UPON BY OTHERS. THE PE WILL BE TAKING RESPONSIBILITY FOR THE TOPO AS IT IMPACTS THE PROJECT UNDER THE PE LICENSE.

SUBDIVISION SURVEY
13700 PROVIDENCE RD
POLIVKA INTERNATIONAL
 TOWN OF WEDDINGTON
 UNION COUNTY, NORTH CAROLINA
 PREPARED FOR: POLIVKA INTERNATIONAL

File #	17118-RM	Date:	REV-8-1-18	Project P.L.S.:	SSD
THE ISAACS GROUP		CIVIL ENGINEERING DESIGN AND LAND SURVEYING		Surveyed By:	JN
				Drawn By:	LAS
				Scale:	1"=50'

8720 RED OAK BLVD. SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

TOTAL SITE: 220,413 S.F. (5.06 ACRES)
10% OPEN SPACE REQUIRED: 22,041 S.F.,
63,162 S.F. PROVIDED

Screening Requirements (per table 58-8)
Perimeter Buffer: 6 Trees and 20 Shrubs per 100'

LANDSCAPING NOTES

- ALL TREES AND SHRUBS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN WEDDINGTON MUNICOD SECTION 58-8.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL PRIOR TO DIGGING.
- PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 10 LBS. 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.

PLANT LIST

KEY | COMMON/ BOTANICAL NAME | QTY. | SIZE

TREES			
AR	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	15	2" CAL., B & B, LIMB UP TO 6'
BN	BETULA NIGRA RIVER BIRCH	12	2" CAL., B & B,
FA	ILEX X ATTENUATA 'FOSTERI' FOSTER HOLLY	25	2" CAL., B & B,
LI	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	6	2" CAL., B & B,
PY	PRUNUS YEDOENSIS YOSHINO CHERRY	12	2" CAL., B & B,

SHRUBS			
FI	FORSYTHIA INTERMEDIA SHOWY FORSYTHIA	44	24" MIN. HT., 4" O.C.
RU	RAPHIOLEPSIS UMBELLATA YEDDO-HAWTHORN	95	36" HT., 4" O.C.
LL	LIGUSTRUM LUCIDUM GLOSSY PRIVET	107	36" HT., 5" O.C.

BMP PLANTING			
BN-B	BETULA NIGRA RIVER BIRCH	2	8' HT., B&B
LI-B	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	3	6' HT., B&B
MG	MAGNOLIA 'LITTLE GEM' LITTLE GEM MAGNOLIA	6	5' HT., B&B.
IH	ILEX CRENATA COMPACTA COMPACTA HOLLY	55	24" HT., 4" O.C.

INSIDE BMP SAND FILTER PLANTS:

RO	RIVER OATS Chasmanthium latifolium	5	2FT OC	2"DIA X 5"PLUG
JP	JOE PYE WEED Eupatorium fistulosum	9	2 FT OC	2"DIA X 5"PLUG
LB	LITTLE BLUESTEM Schizachyrium scoparium	200	1.5 FT OC	2"DIA X 5"PLUG
EP	BONESET Eupatorium perfoliatum	200	1.5 FT OC	#SP4 CG

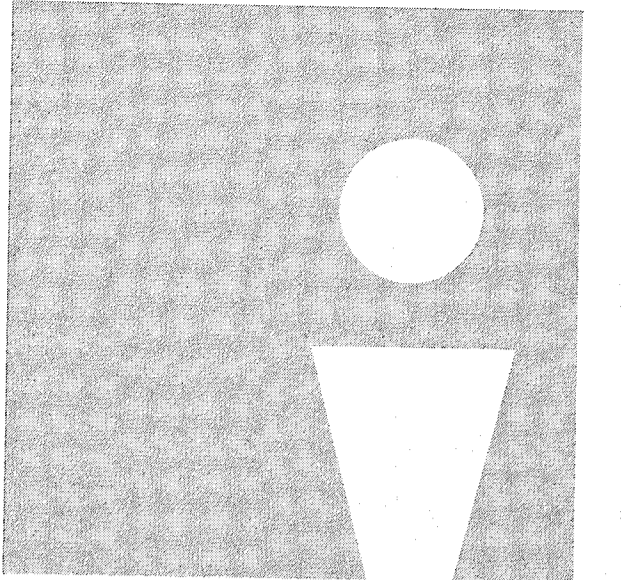
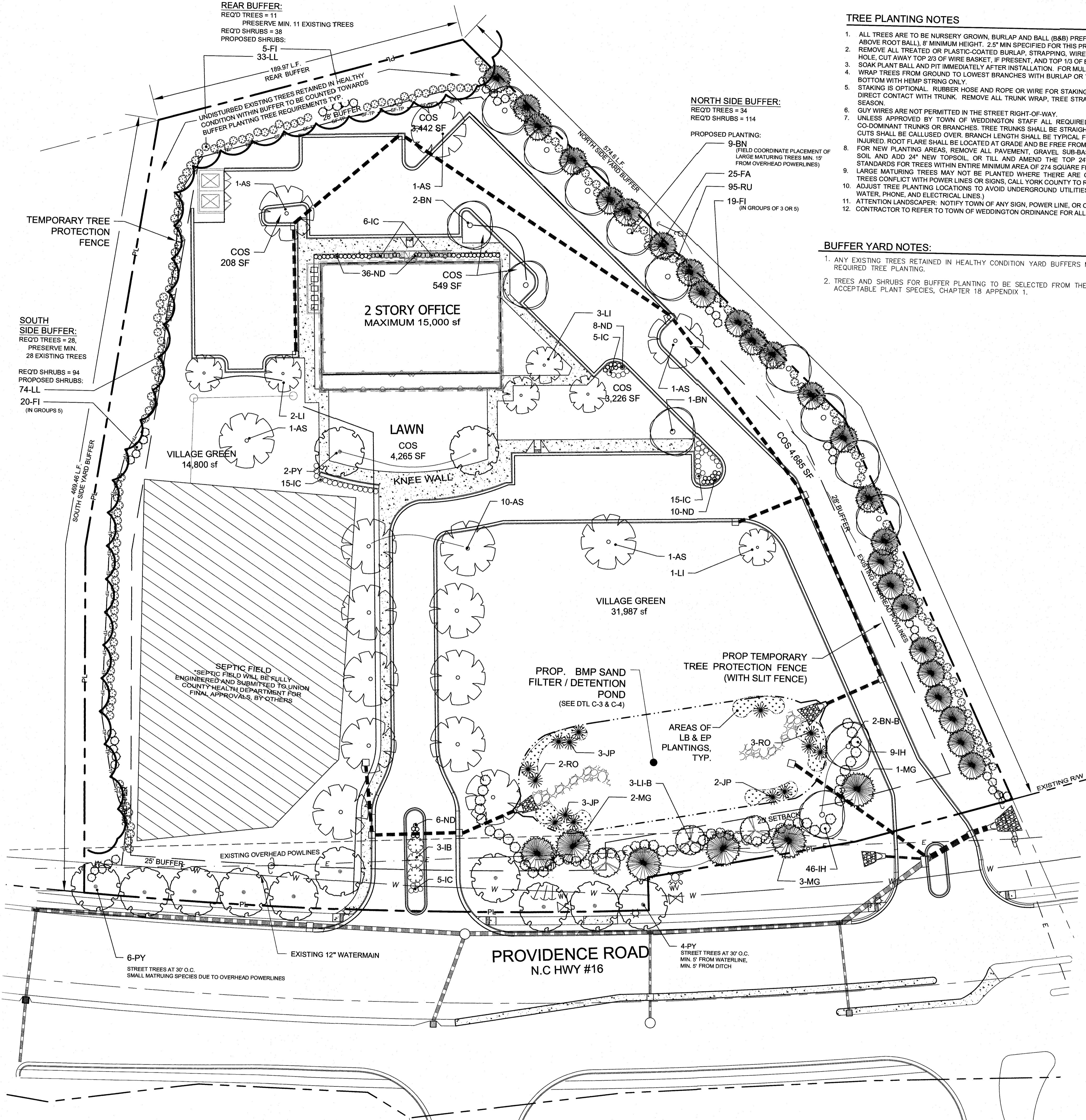
ADDITIONAL PLANTING (PARKING AREAS, BLDG FOUNDATION)			
IC	ILEX CORNUTA 'CARISSA' CARISSA HOLLY	46	24"HT., 3" O.C.
ND	NANDINA DOMESTICA 'GULFSTREAM' GULFSTREAM NANDINA	60	15" HT., 24" O.C.
TB	ILEX CORNUTA BURFORDI BURFORD HOLLY	3	LIMBED UP TREE FORM, 4' HT.

TREE PLANTING NOTES

- ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B) PREFERRED. MINIMUM TREE SIZE IS 2" CALIPER (MEASURED 6" ABOVE ROOT BALL), 8' MINIMUM HEIGHT. 2.5" MIN SPECIFIED FOR THIS PROJECT.
- REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY TOP 2/3 OF WIRE BASKET, IF PRESENT, AND TOP 1/3 OF BURLAP.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. FOR MULCH, USE PINE NEEDLES OR SEASONED MULCH (4"). WRAP TREES FROM GROUND TO LOWEST BRANCHES WITH BURLAP OR TREE WRAP PAPER (OPTIONAL). SECURE NEAR TOP AND BOTTOM WITH HEMP STRING ONLY.
- STAKING IS OPTIONAL. RUBBER HOSE AND ROPE OR WIRE FOR STAKING IS NOT RECOMMENDED. NO WIRE OR ROPE IS TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TRUNK WRAP, TREE STRAPS, AND STAKING WIRE OR ROPE AFTER ONE GROWING SEASON.
- GUY WIRES ARE NOT PERMITTED IN THE STREET RIGHT-OF-WAY.
- UNLESS APPROVED BY TOWN OF WEDDINGTON STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING CUTS SHALL BE CALLUSED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXCESSIVE ADVENTITIOUS ROOT GROWTH.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE.
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL YORK COUNTY TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES.)
- ATTENTION LANDSCAPER: NOTIFY TOWN OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- CONTRACTOR TO REFER TO TOWN OF WEDDINGTON ORDINANCE FOR ALL APPLICABLE PLANTING DETAILS AND GUIDELINES.

BUFFER YARD NOTES:

- ANY EXISTING TREES RETAINED IN HEALTHY CONDITION YARD BUFFERS MAY BE CREDITED FOR ANY REQUIRED TREE PLANTING.
- TREES AND SHRUBS FOR BUFFER PLANTING TO BE SELECTED FROM THE TOWN OF WEDDINGTON LIST OF ACCEPTABLE PLANT SPECIES, CHAPTER 18 APPENDIX 1.



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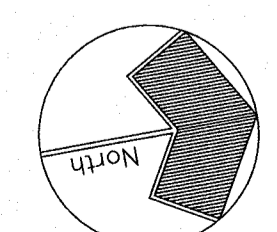
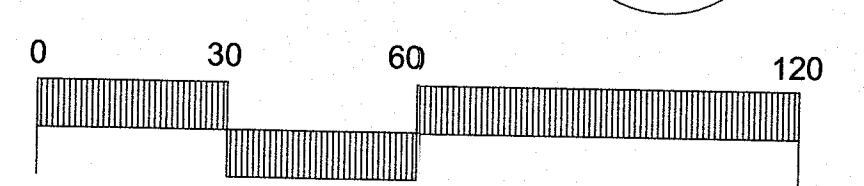
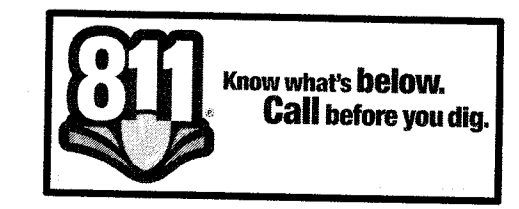
FOR REFERENCE ONLY:

Parkir LLC
10701 110
CHARL 11A
PH
PEF AT
W I
1370 D
WEDDIN 11A

ISSUE DATE
TOWN SUBM 5-10-13
PERMIT SUBM 5-10-13
Project Name C 3-27-13

PLANTING COMMON OPEN SPACE PLAN

C-2
Copyright 2012 Overcash Demmitt Architects
00A No. 06296.01

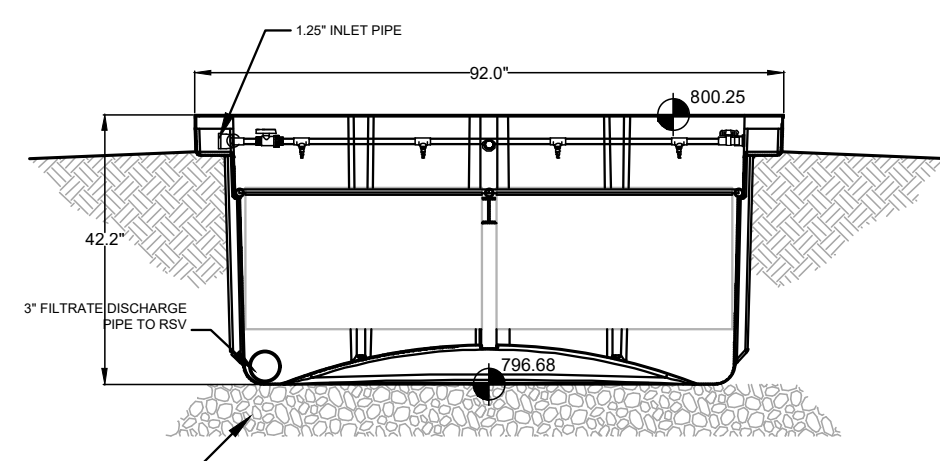


* Float Functions & Pump Index

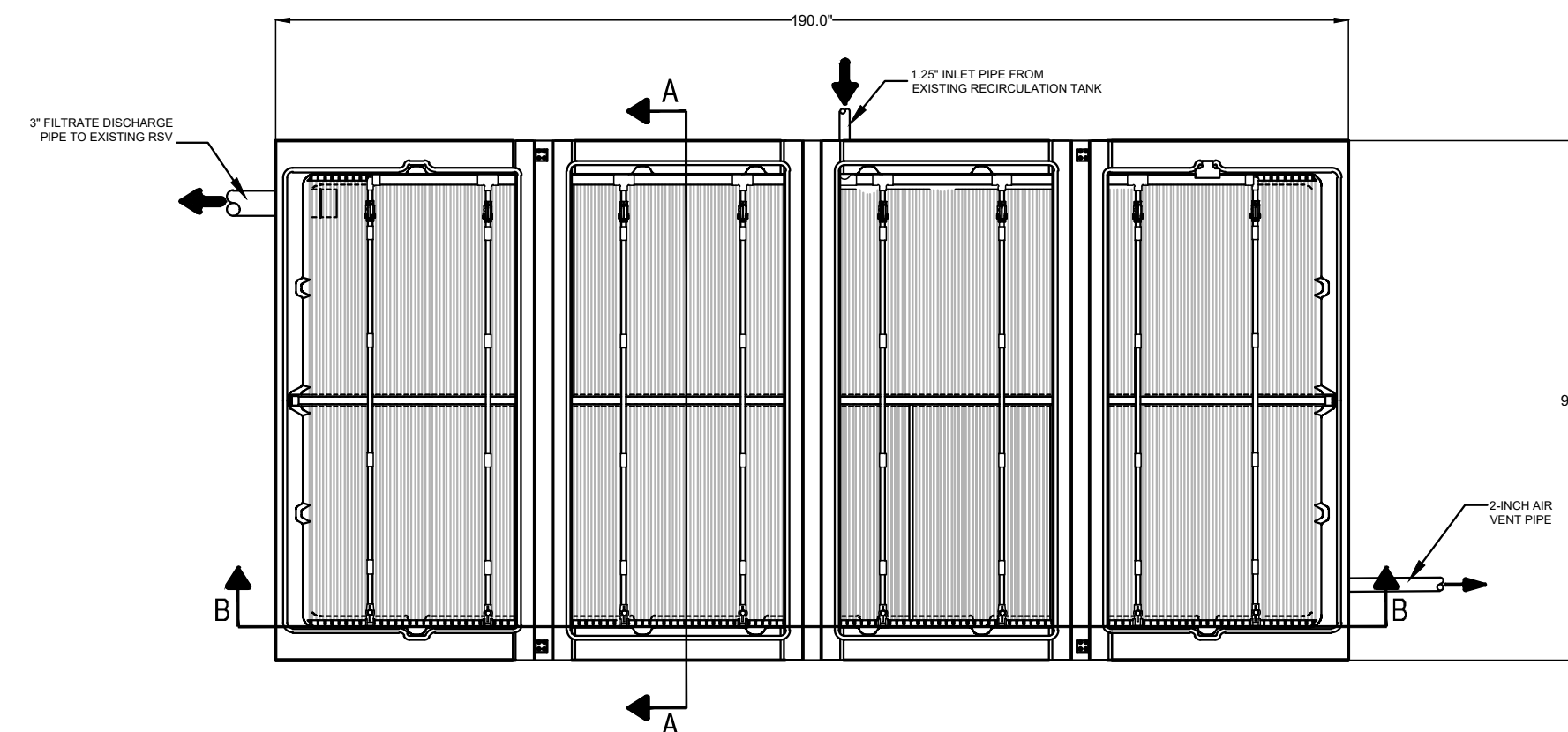
A	High Level Alarm / Lag Enable
B	Override Timer
C	Redundant Off / Low Level Alarm

Recirculation Pump (R1): Orenco PF5007-12
 Final Dosing Pump (D2): Goulds 3885 Model WE0120H
 S.T.E.P. Pump (D3 & S4): Orenco PF1005-12

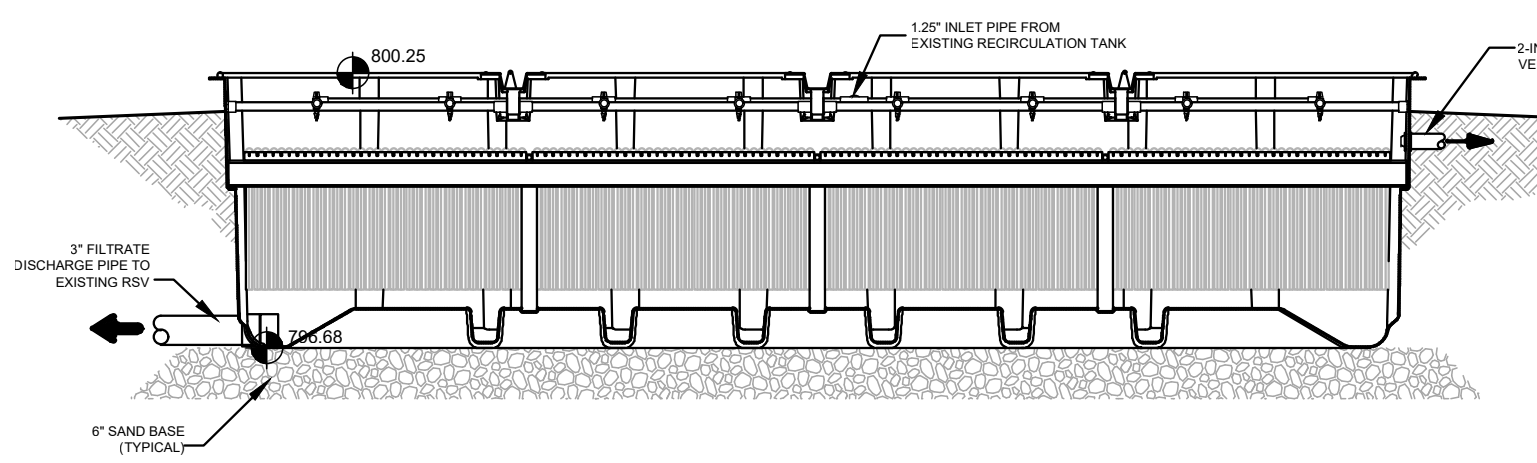
FLOAT SETTINGS
Not to Scale



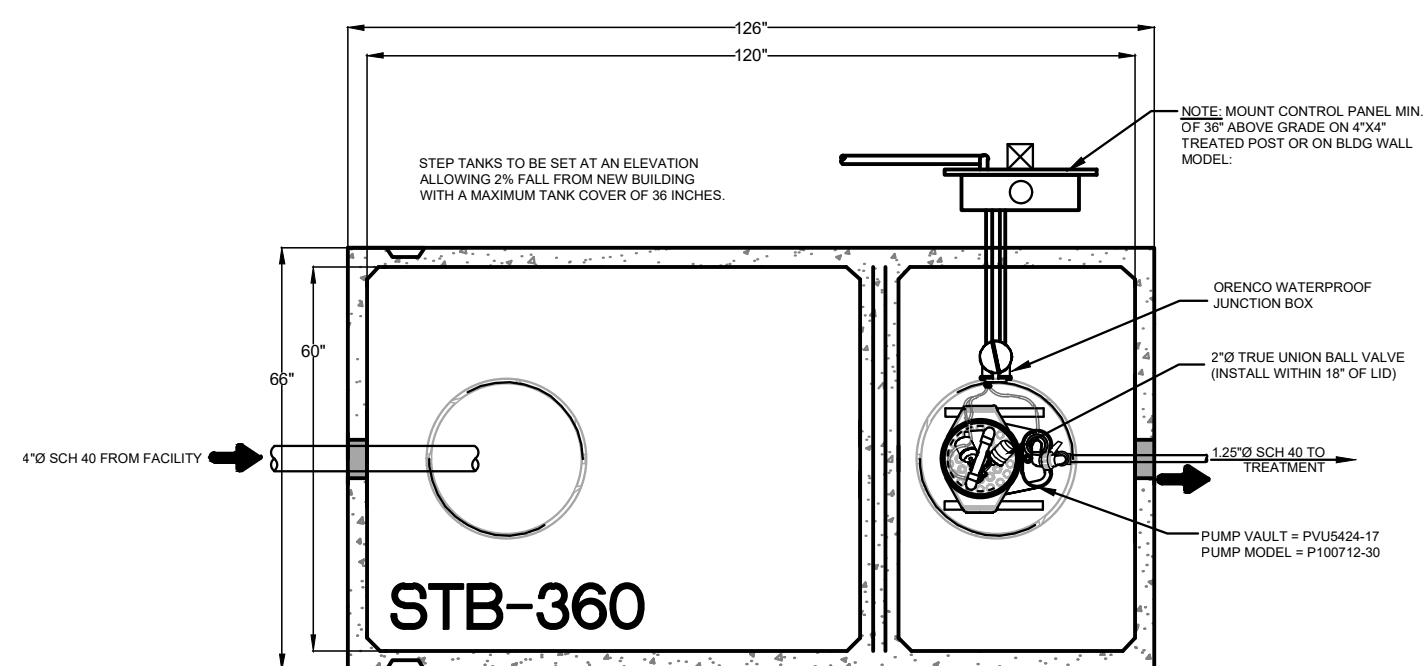
SECTION A-A ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



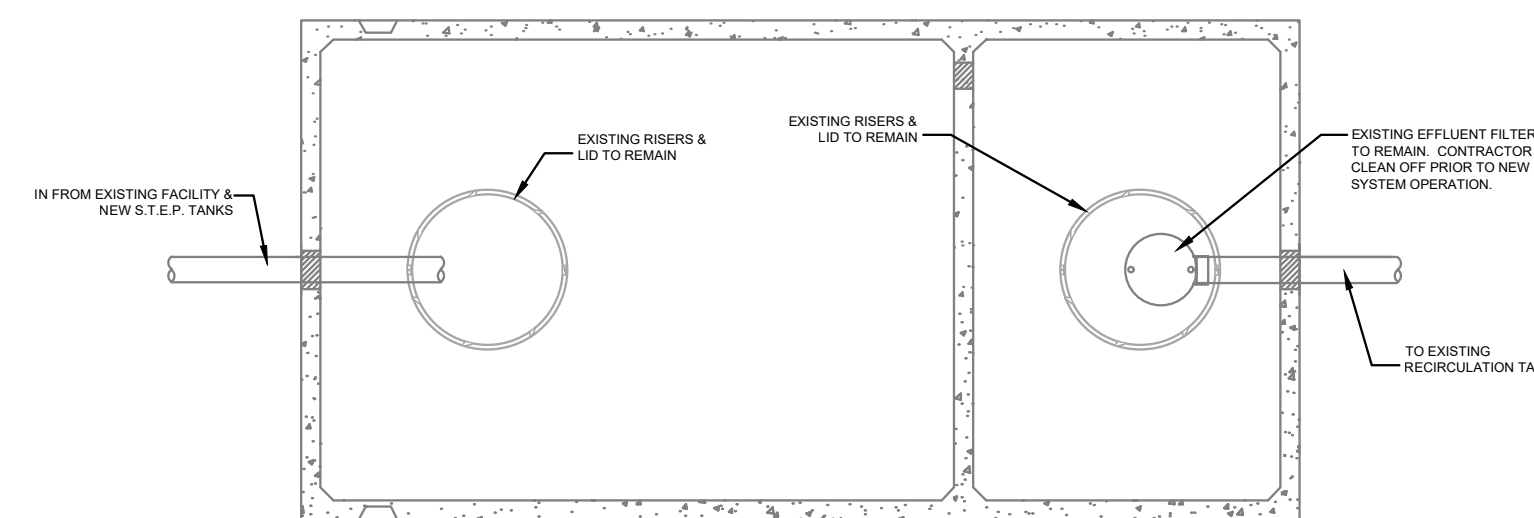
PLAN VIEW-ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



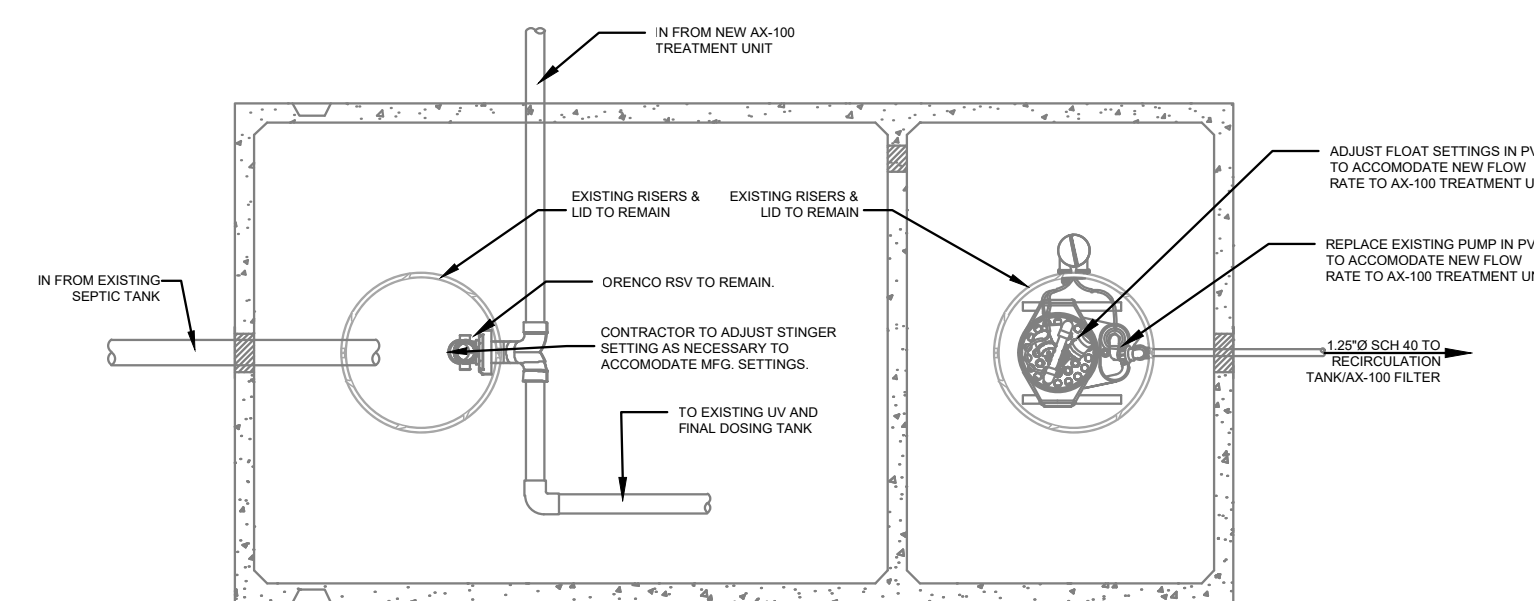
SECTION B-B ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



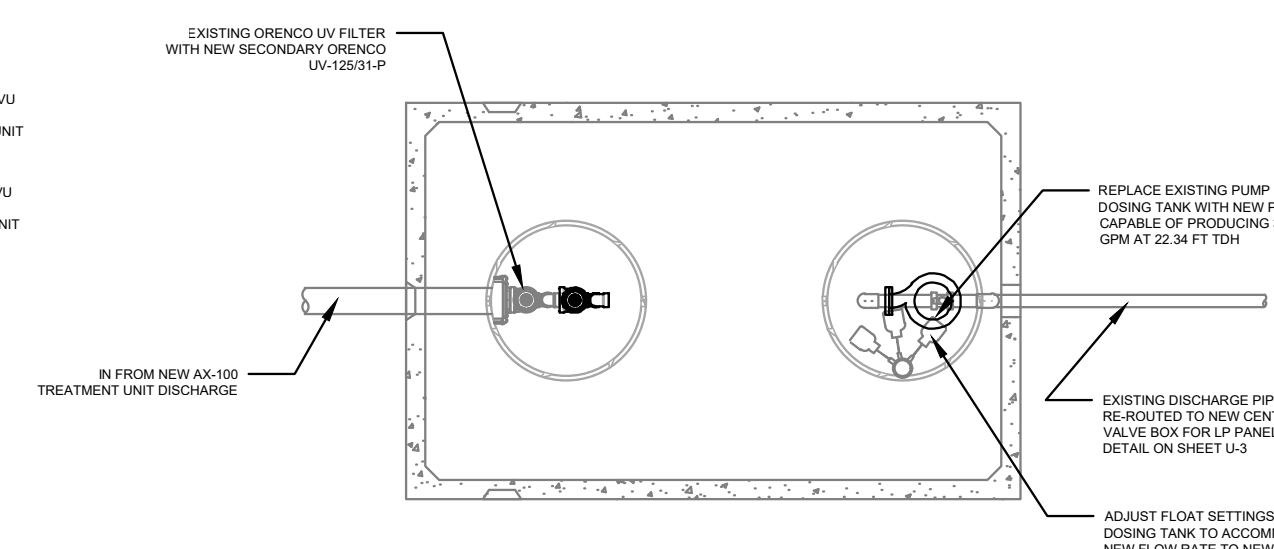
PLAN VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360



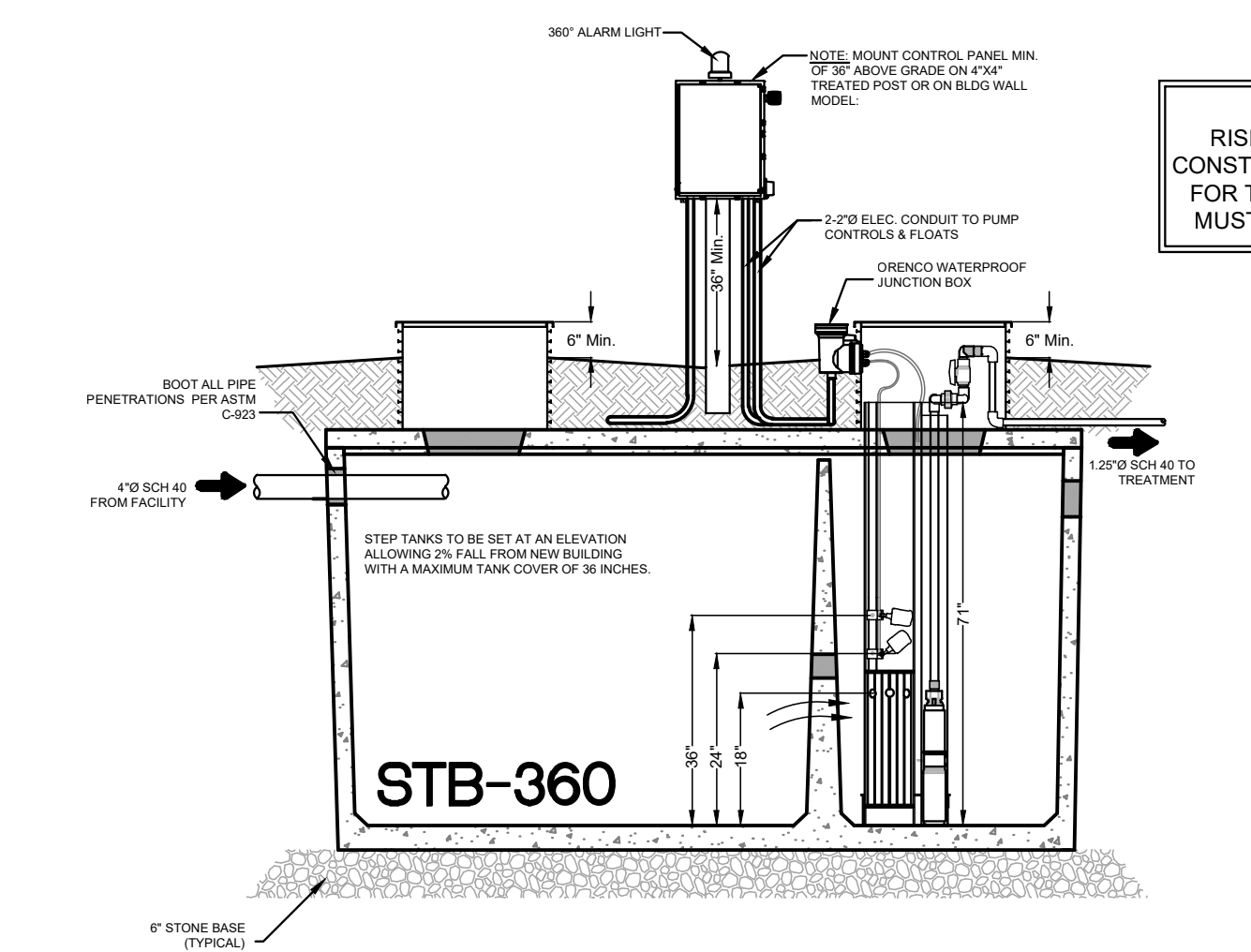
PLAN VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



PLAN VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale

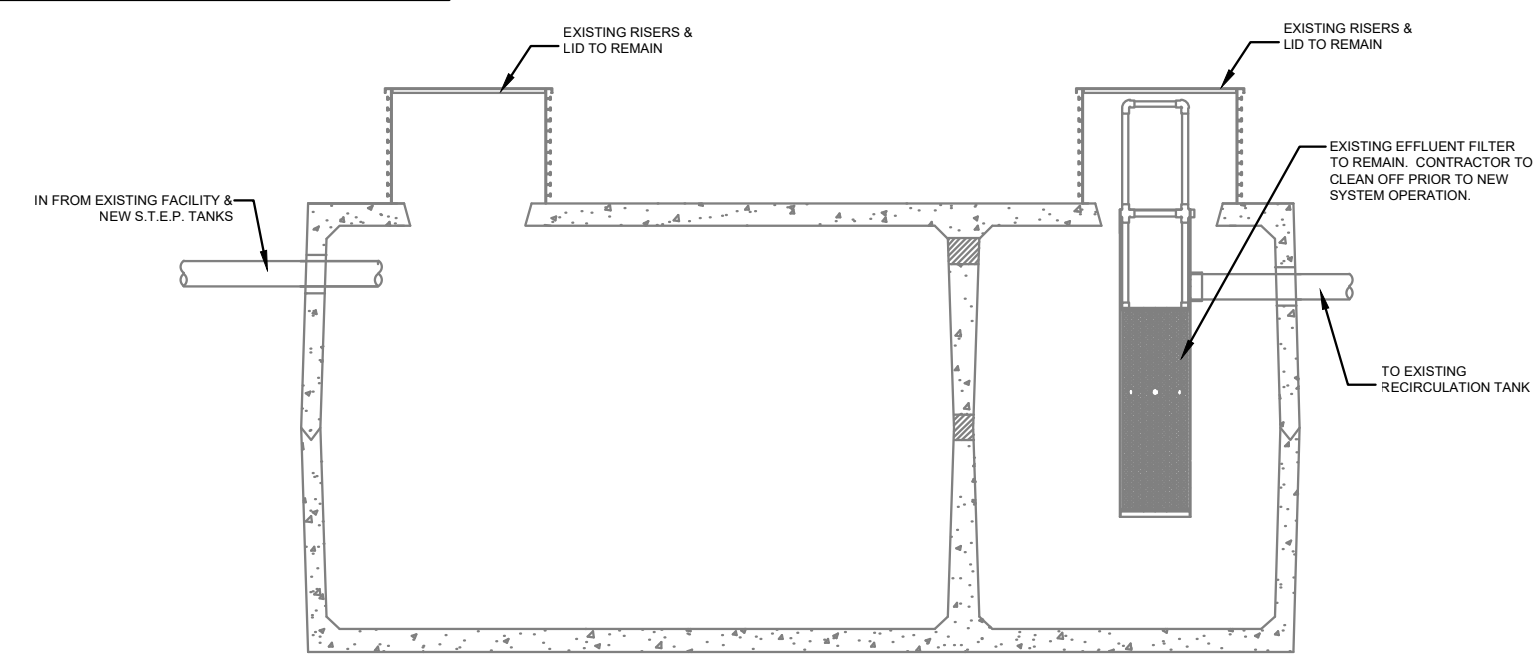


PLAN VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale

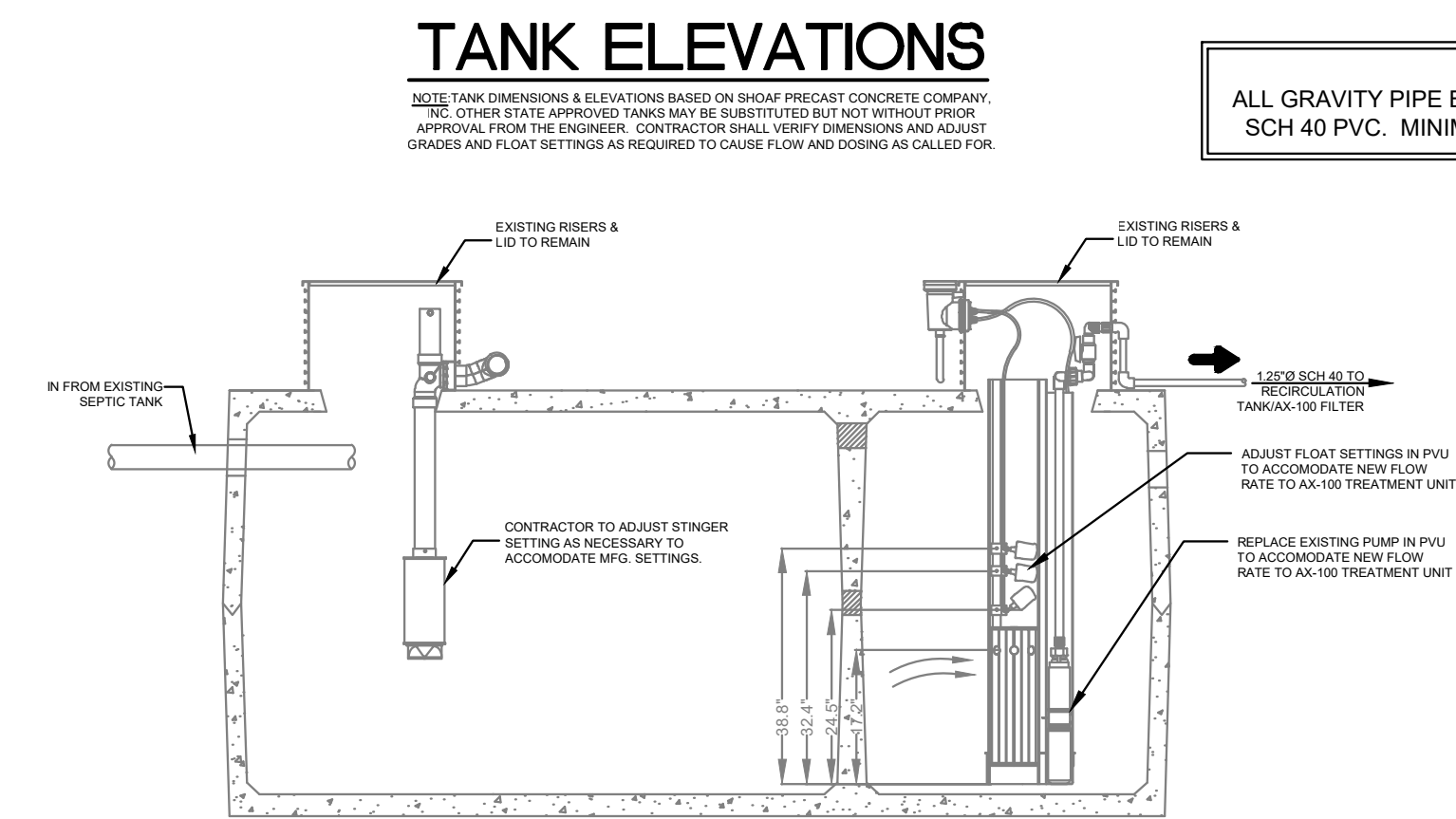


SECTION VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360

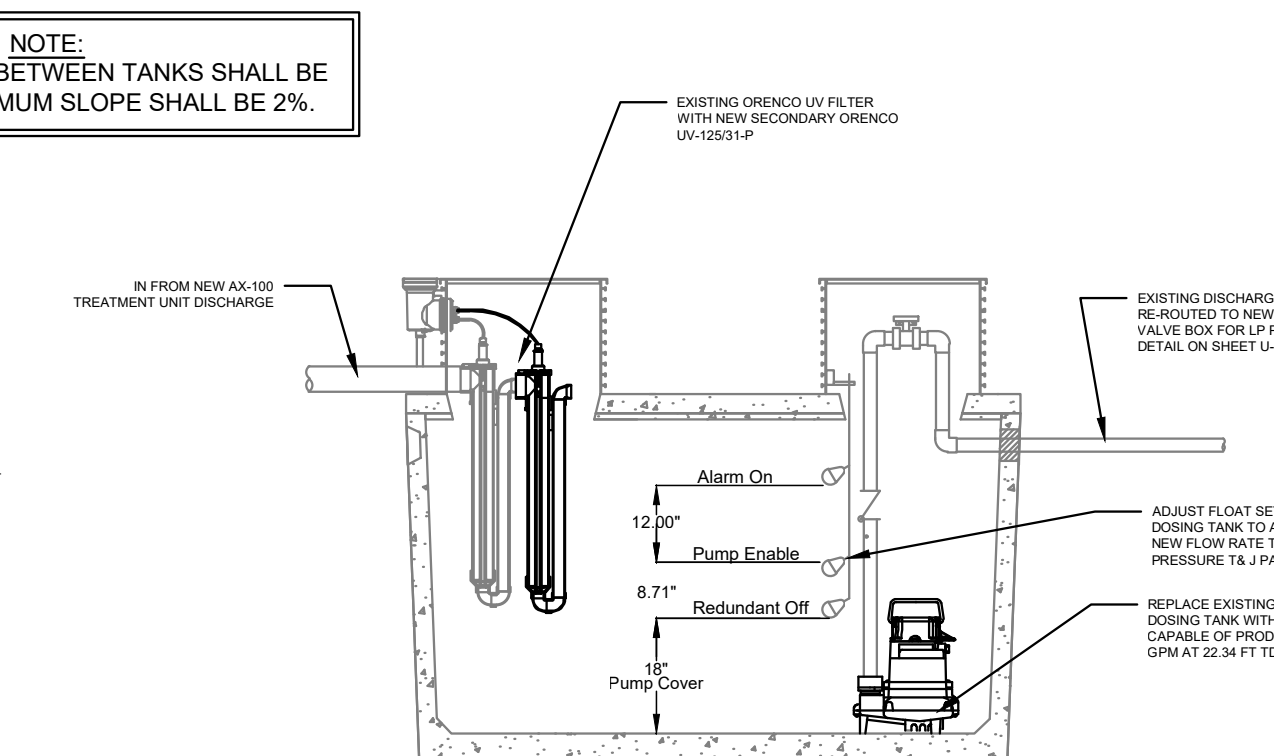
RISER & LID NOTES:
RISERS TO BE CAST IN PLACE AT TIME OF TANK CONSTRUCTION AND MEET THE REQUIRED APPROVAL FOR THE SPECIFIED RISER. ALL TANK ACCESS LIDS MUST HAVE BOLT DOWN OR LOCKING CAPABILITY.



SECTION VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



SECTION VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale

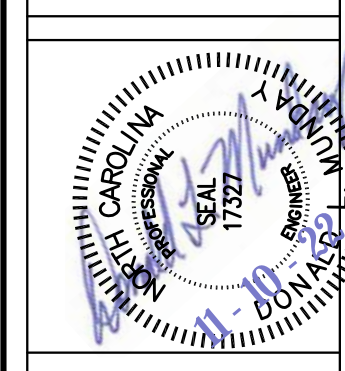


SECTION VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale

PIEDMONT DESIGN
ENGINEERING/SURVEYING/PLANNING
Associates, P.A.
Suite 101 Westfield Center, 125 East Plaza Drive
Wedgefield, NC 28104
Phone: (704) 664-7888 Fax: (704) 664-1778 www.pdpas.com
NCBELS License #: C-1007

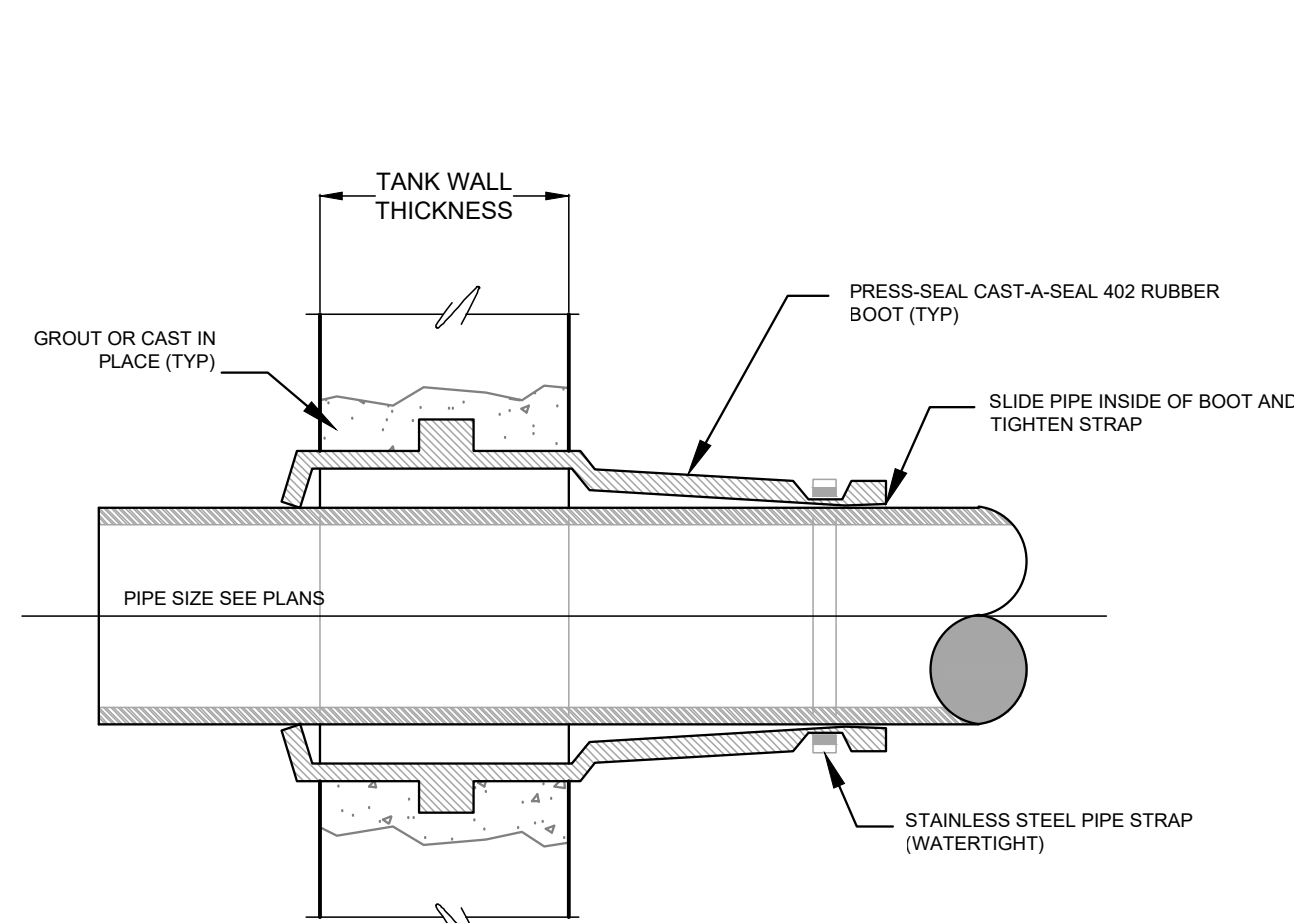
PREPARED FOR:
POLIVKA INTERNATIONAL
13700 PROVIDENCE ROAD, SUITE 200
WEDDINGTON, NC 28104
704-321-0802

SEPTIC SYSTEM DETAILS
POLIVKA INTERNATIONAL
13700 PROVIDENCE ROAD
WEDDINGTON, UNION COUNTY, NORTH CAROLINA



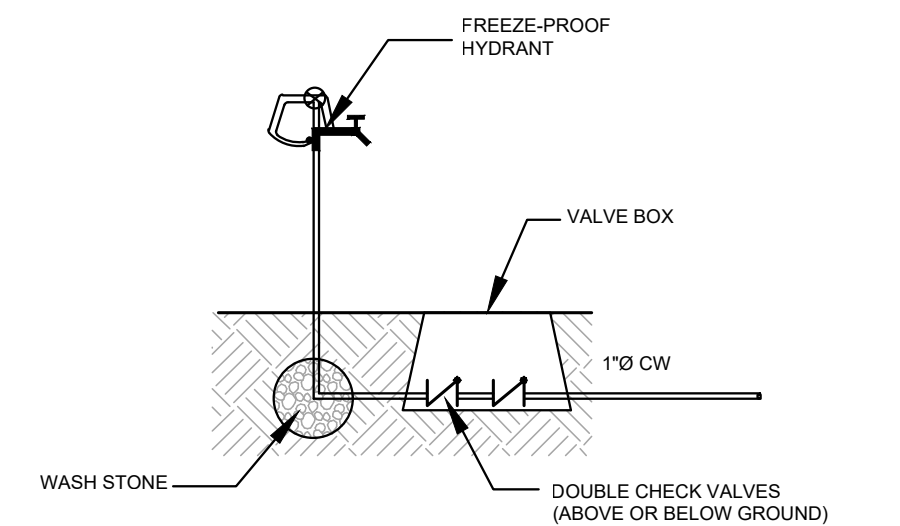
REVISIONS	BY

Date: 9/11/02/222
 Scale: AS SHOWN
 Drawn: DMD
 Checked: DLM
 Project: 2022-07-21
 Job: 2022-07-21
 Sheet: U-2



PIPE PENETRATION DETAIL

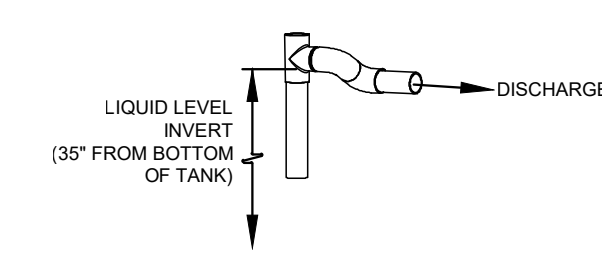
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YARD HYDRANT DETAIL

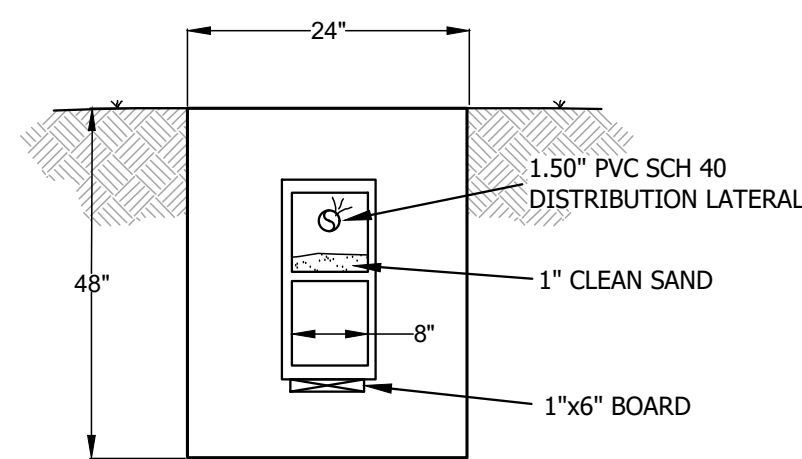
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Locate Greater Than 10 Feet From System Components



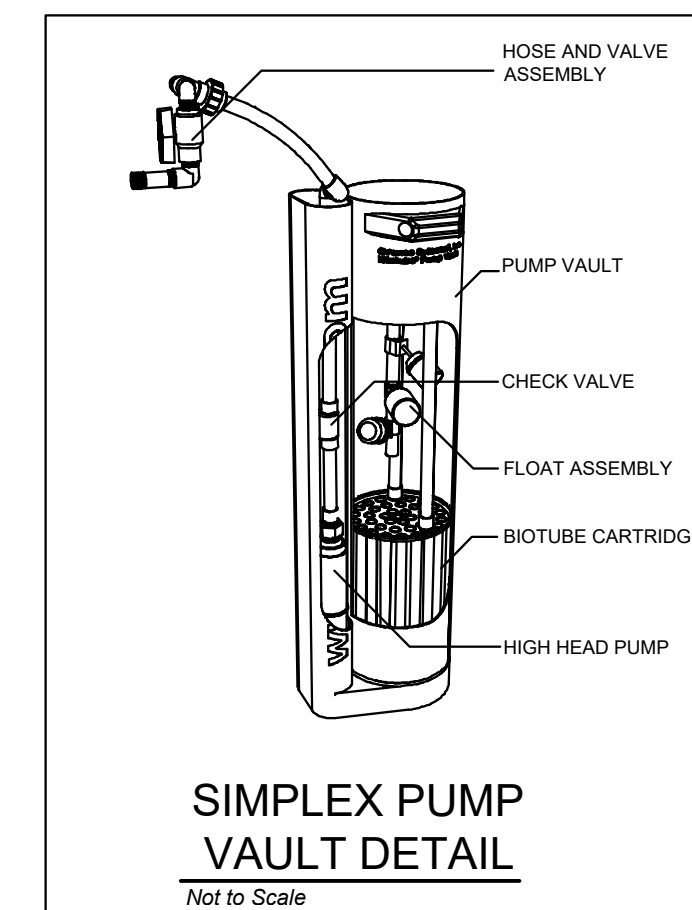
DISCHARGE DETAIL

Not to Scale



CUTAWAY OF PRESSURE PANEL

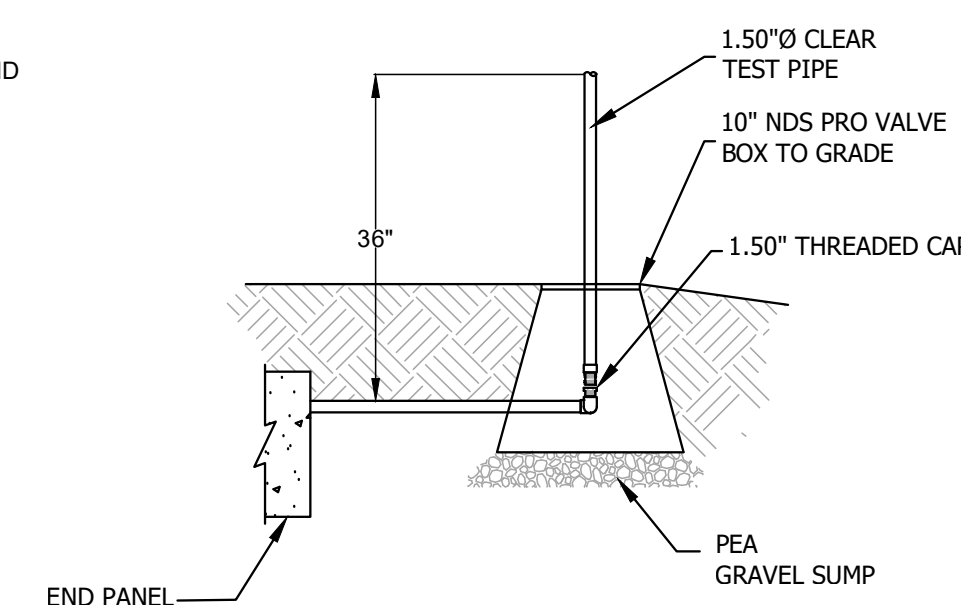
N.T.S.



SIMPLEX PUMP VAULT DETAIL

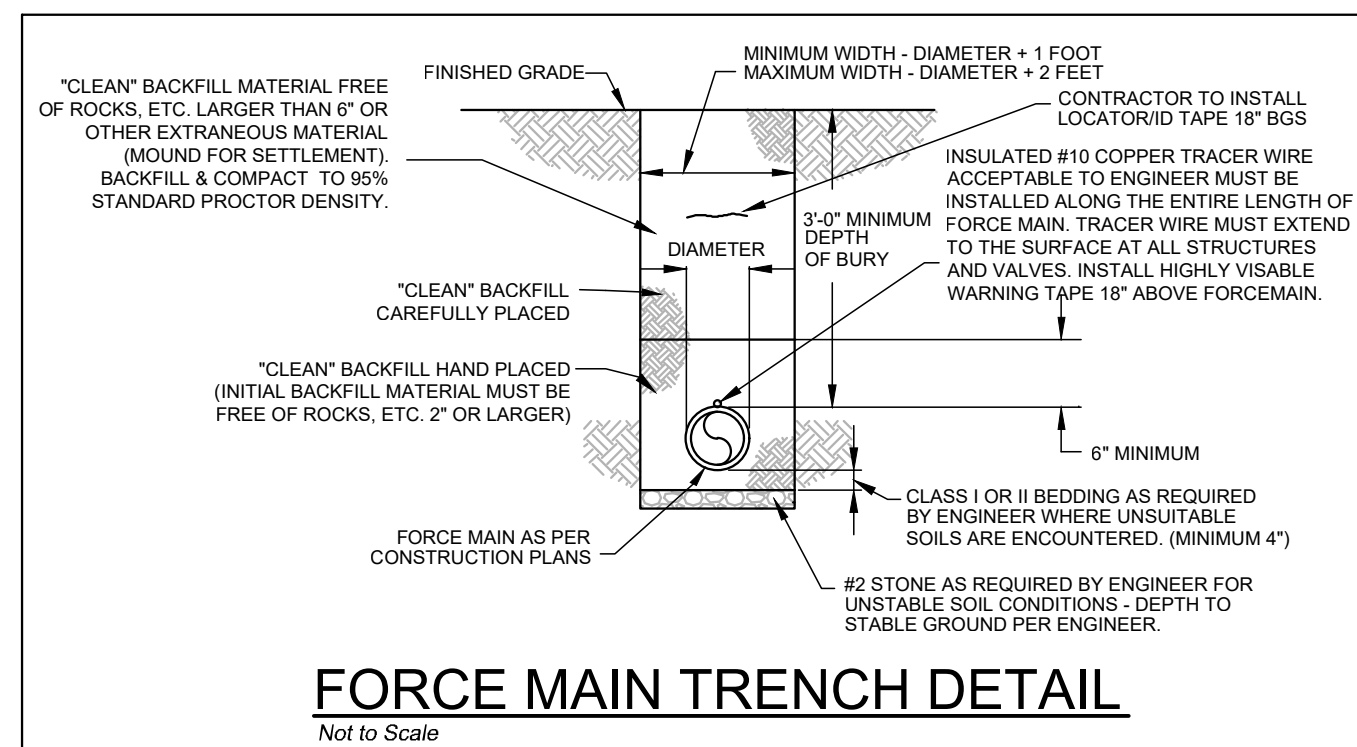
Not to Scale

NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



TURN UP DETAIL

N.T.S.

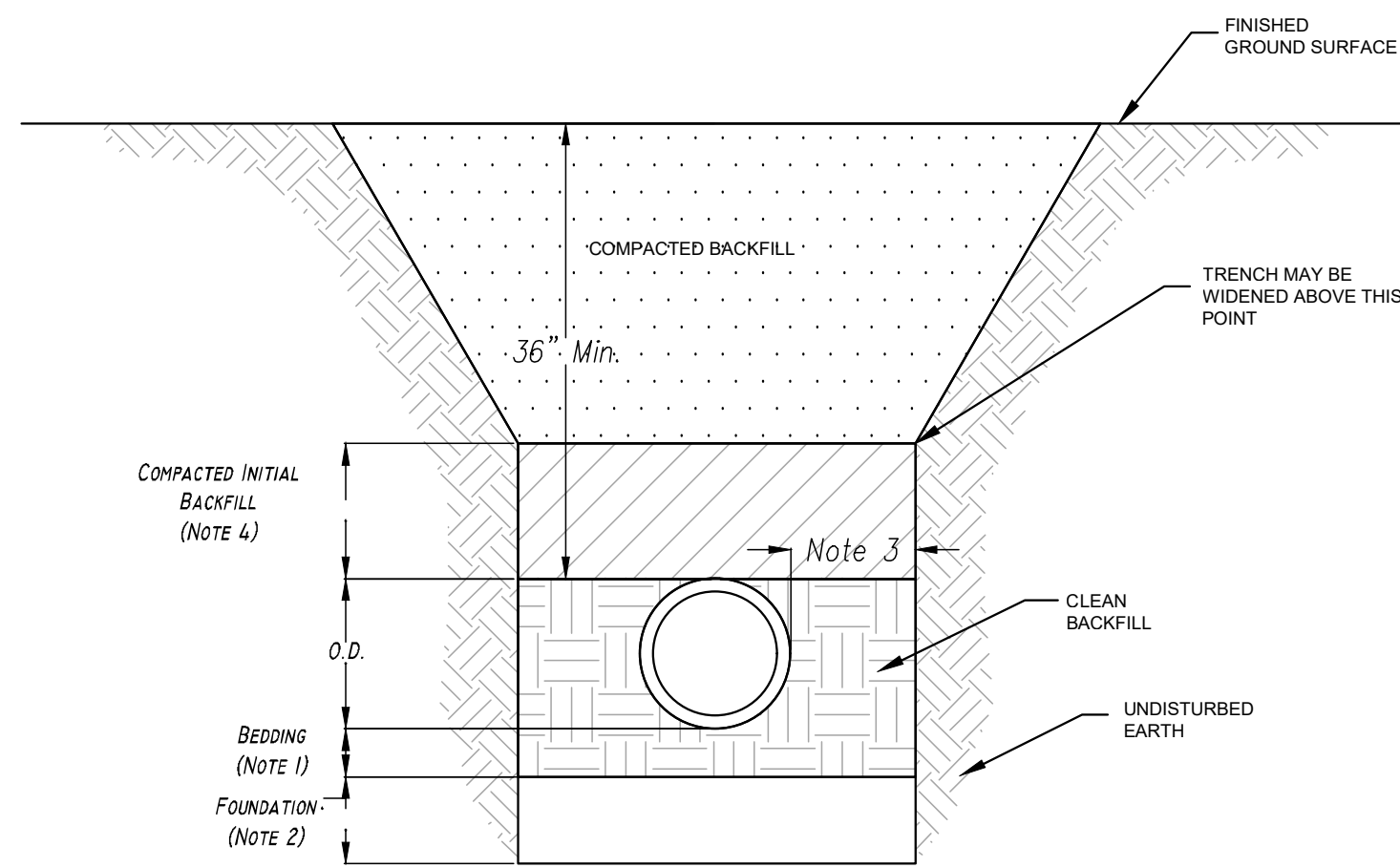


FORCE MAIN TRENCH DETAIL

Not to Scale

TRENCH NOTES:

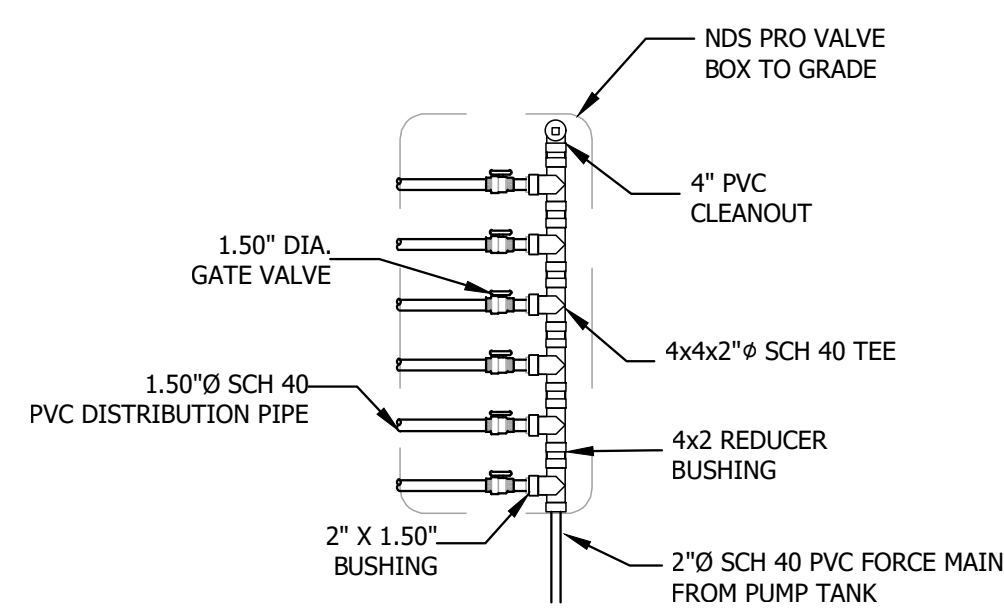
1. 4" TYPICAL, 5' DEPTH IF IN ROCK
2. FOUNDATION STONE REQUIRED WHEN SOIL CONDITIONS ARE UNSTABLE
3. CLEAR DISTANCE NOT LESS THAN 6' OR MORE THAN 12" ON EITHER SIDE
4. INITIAL BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED. INITIAL BACKFILL SHALL CONTAIN NO BACKFILL OVER 1.5" FROZEN LUMPS OR DEBRIS
5. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY
6. PVC PIPE SHALL BE SCH 40 PVC
7. DETAIL SHALL BE USED FOR ALL TRANSPORT PIPING TO AND FROM DISPOSAL AREA
8. SEE DETAIL FOR DUCTILE SLEEVE UNDER STREAM ON PLAN SHEET U-3



PVC SEWER PIPE BEDDING DETAIL

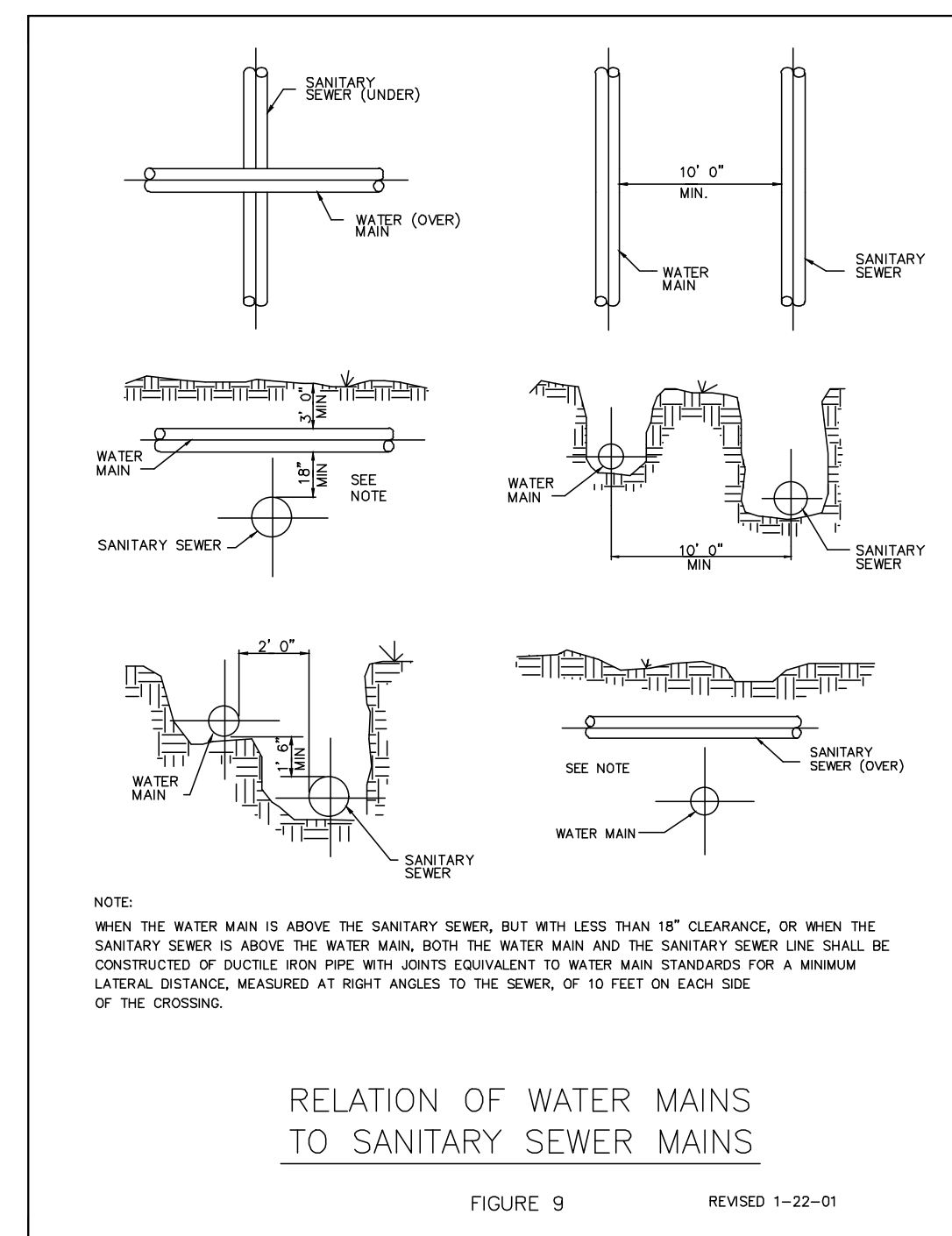
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NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



VALVE BOX DETAIL

N.T.S.

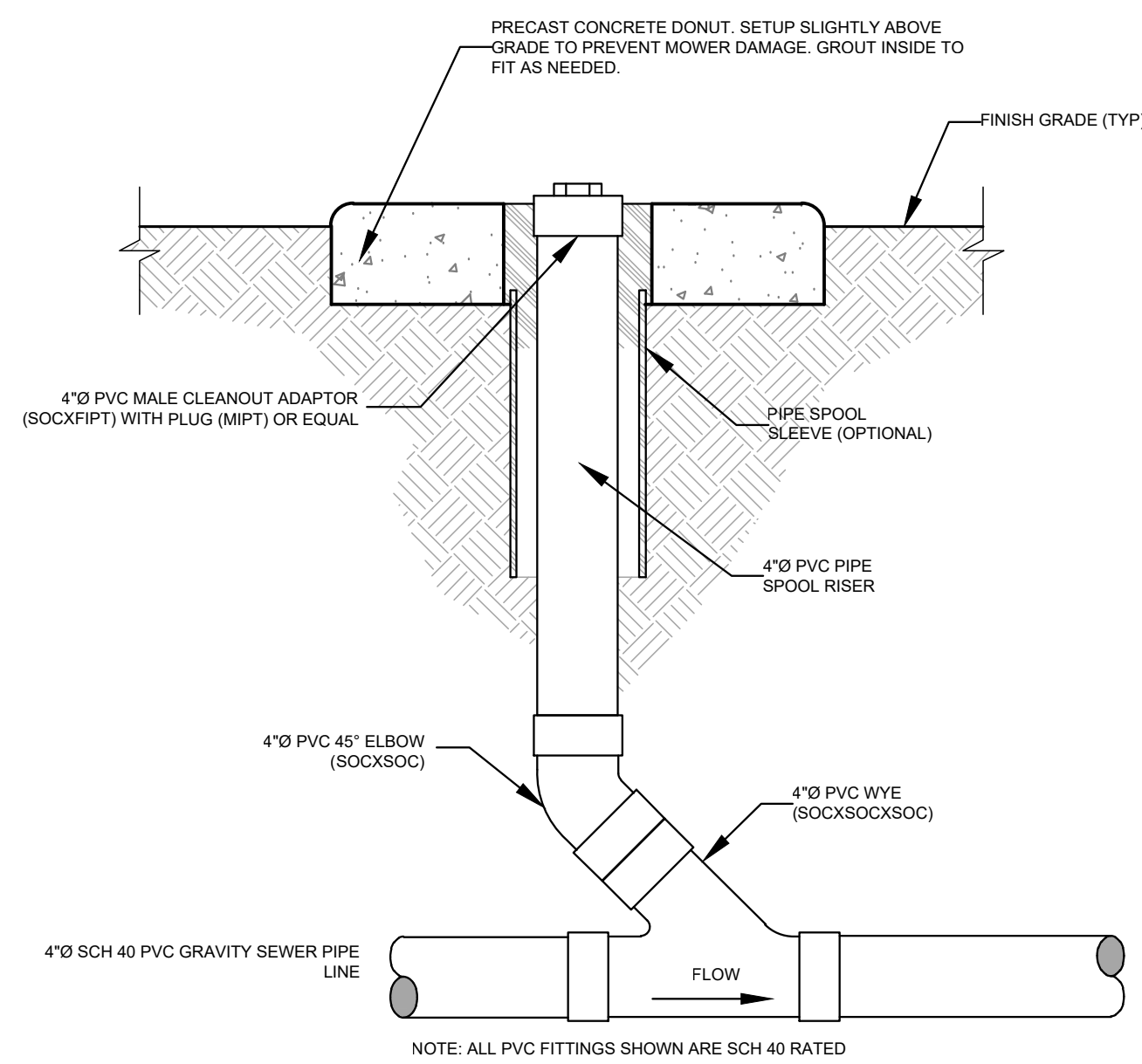


RELATION OF WATER MAINS TO SANITARY SEWER MAINS

FIGURE 9 REVISED 1-22-01

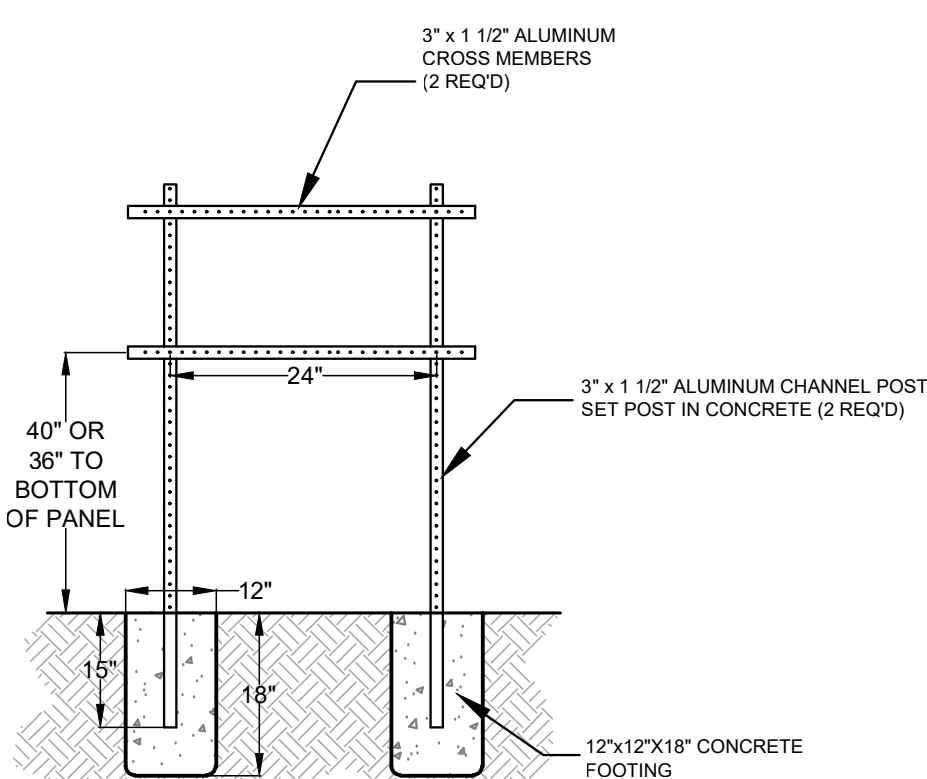
GENERAL NOTES:

1. NOTIFY UNDERGROUND UTILITIES LOCATOR PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND SUBCONTRACTORS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS, ELEVATIONS, AND LOCATION OF ALL EXISTING CONDITIONS AND UTILITIES.
2. ALL PIPING SHALL BE SCH 40 PVC UNLESS OTHERWISE NOTED ON PLANS. ALL PVC PIPES SHALL BE BURIED A MINIMUM OF 3 FEET UNLESS SHOWN OTHERWISE.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
4. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA, NCDOT, AND OTHER RELATED SAFETY REQUIREMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL CONSTRUCTION DAMAGE EXPEDITIOUSLY AND AT NO ADDITIONAL COST TO THE OWNER.
6. SEPTIC TANKS SHALL BE CONSTRUCTED WITH A BAFFLE WALL DIVIDING THE TANK INTERIOR 2/3rd TO 1/3rd. THE BAFFLE WALL SHALL BE CONSTRUCTED TO PERMIT PASSAGE OF EFFLUENT THROUGH A SLOT OR HOLES LOCATED BETWEEN 45 & 55 PERCENT OF THE INTERIOR DEPTH.
7. ALL TANKS SHALL HAVE A MINIMUM 28-DAY CONCRETE STRENGTH OF 4,500 PSI.
8. TANKS SHALL MEET REINFORCING REQUIREMENTS TO ACCOMMODATE 3,000 POUNDS PER SQ. FT. EITHER STEEL REINFORCING WIRE, REBAR OR APPROVED FIBER MAY BE USED.
9. ALL SERVICE ACCESS OPENINGS WILL BE A MINIMUM OF 24 INCHES.
10. ALL TANKS AND EFFLUENT FILTERS SHALL BE APPROVED BY ENGINEER. EFFLUENT FILTERS SHALL BE SIZED FOR DESIGN FLOW AND EXTEND DOWN TO 50-PERCENT OF LIQUID LEVEL.
11. ALL JOINTS (MID-SEAM, TOP-SEAM) SHALL BE SEALED USING CONCRETE SEALANTS BUTYL SEALANT # CS-102 MEETING ASTM C-990.
12. TANKS SHALL BE LEAK-TESTED PRIOR TO SYSTEM START UP BY APPLYING A VACUUM OF 5-INCHES OF MERCURY WITH RISER ASSEMBLIES IN PLACE OR WITH APPROVAL BY ENGINEER. A 24-HOUR STATIC WATER TEST IN ACCORDANCE WITH ASTM STANDARDS.
13. ALL PIPE PENETRATIONS THROUGH PRECAST CONCRETE TANKS SHALL BE PRESS-SEAL CAST-A-SEAL 402 RUBBER BOOTS AND GROUTED.
14. ALL TANK RISERS AND LIDS SHALL BE A MINIMUM OF 6" ABOVE THE FINISHED GRADE.
15. ALL METAL INSTALLED IN TANKS SHALL BE STAINLESS STEEL.
16. ALL MANHOLES NOT INSTALLED IN TRAFFIC AREAS SHALL HAVE BOLT DOWN LIDS. LIDS SHALL BE 6" MINIMUM ABOVE FINISHED GRADE.
17. CONTROL PANELS SHALL BE INSTALLED A MINIMUM OF 36 INCHES FROM FINISHED GRADE TO BOTTOM OF PANEL BOX. SEAL OFF ALL CONDUITS BETWEEN TANKS AND PANEL.



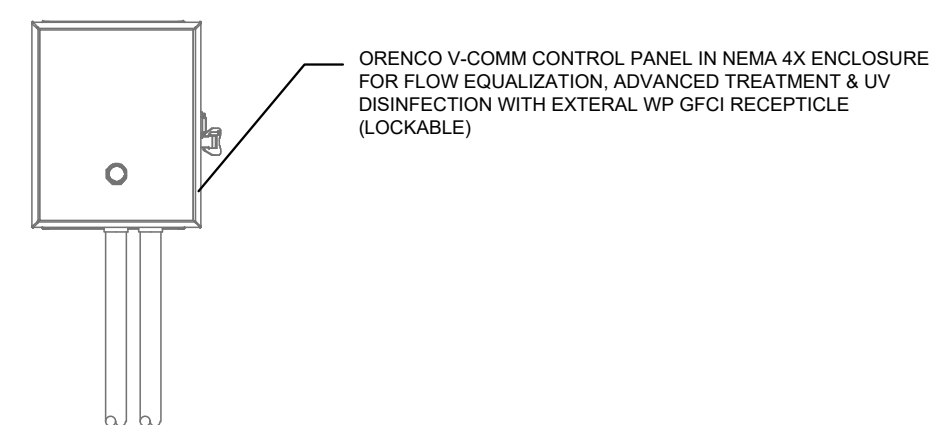
CLEANOUT DETAIL

Not to Scale



PANEL MOUNTING RISER

Not to Scale



CONTROL PANEL DETAIL

Not to Scale

Agenda Item 10.B.



ORDINANCE NO. 2025-XX

AN ORDINANCE OF THE TOWN OF WEDDINGTON, NORTH CAROLINA MAKING AMENDMENTS TO THE UNIFIED DEVELOPMENT ORDINANCE BY AMENDING ARTICLE 9, REGULATION OF PARTICULAR USES AND AREAS, SECTION D-917A, SPECIFIC REQUIREMENTS FOR ALL RESIDENTIAL DEVELOPMENT – REQUIRED IMPROVEMENTS, DEDICATION, RESERVATION, AND MINIMUM STANDARDS FOR RESIDENTIAL DEVELOPMENT (APPLICABLE TO BOTH TRADITIONAL RESIDENTIAL DEVELOPMENT AND CONSERVATION RESIDENTIAL DEVELOPMENT) SUBSECTION J. CUL-DE-SACS; CERTIFYING CONSISTENCY WITH THE TOWNS LAND USE PLAN AND PROPER ADVERTISEMENT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Weddington adopted the Unified Development Ordinance on April 12, 2021 to comply with North Carolina General Statute 160D and to improve the organization of existing ordinances; and

WHEREAS, the adopted Unified Development Ordinance took effect on April 12, 2021; and

WHEREAS, the Town of Weddington desires for the Unified Development Ordinance to function effectively and equitably throughout the Town; and

WHEREAS, the Town of Weddington has determined where the Unified Development Ordinance needs clarification and revision; and

WHEREAS, the existing ordinance prescribes design standards for North Carolina Department of Transportation roads not under the ownership or maintenance of the Town;

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WEDDINGTON, NORTH CAROLINA:

Section 1. That Unified Development Ordinance, Article 9, Regulation of Particular Uses and Areas, Section D-917A. Specific Requirements for All Residential Development - Required Improvements, Dedication, Reservation and Minimum Standards for Residential Development (applicable to both Traditional Residential Development and Conservation Residential Development)., Subsection J. Cul-de-sacs be amended to read as follows:

Section D-917A.

J. Cul-de-sacs

1. *Cul-de-sacs or dead-end streets designed to be permanently closed are prohibited and can only be used when topographic conditions and/ or exterior lot line configurations offer no practical alternative for connection or through traffic. Cul-de-sacs shall not exceed 500 feet. Permanent dead-end streets shall not provide sole access to more than 16 dwelling units or 1,200 linear feet, whichever is less. Measurement shall be from the point where the centerline of the dead-end street intersects with the center of a through street to the center of the turnaround of the cul-de-sac. The distance from the edge of pavement on the vehicular turnaround to the right-of-way line shall not be less than the distance from the edge of pavement to right-of-way line on the street approaching the turnaround.*
2. *When cul-de-sacs end in the vicinity of an adjacent undeveloped property capable of being developed in the future, a right-of-way or easement shall be shown on the final plan to enable the street to be extended when the adjoining property is developed. A sign will be required at the end of the cul-de-sac or dead-end street stating there will be a connection when the adjacent parcel is developed. Cul-de-sacs in conservation residential developments shall generally include a pedestrian connection to the open space behind the lots they serve, preferably at the end of the cul-de-sac. No system of multiple branching cul-de-sacs from a single junction within a connected street network is permitted.*
3. *Cul-de-sacs shall generally be designed with central islands (preferably teardrop shaped) where trees are retained or planted. Cul-de-sac pavement and right-of-way diameters shall be in accordance with NCDOT design standards. Designs other than the "bulb" end design with a circular right-of-way will be subject to the approval of the Division Engineer of the Division of Highways, North Carolina Department of Transportation and the Town Council after review on an individual basis.*
4. *Cul-de-sacs that are private streets less than 600 feet long shall generally shall be designed as "closes" with two one-way streets bounding a central "boulevard island" not less than 35 feet across. This can be easily accomplished by extending the outer edges of the turning half-circle perpendicularly to the street from which the cul-de-sac springs. The central open space offers opportunities for tree planting and "rain garden" infiltration areas for stormwater (particularly when the street pavement is sloped inward toward the central open space).*

K. Street Layout.

2. *Continuation of Adjoining Streets. The proposed street layout shall be coordinated with the street system of the surrounding area. Where possible, existing principal streets shall be extended. Street connections shall be designed so as to minimize the number of new cul-de-sacs and to facilitate easy access to and from homes in different part of the tract (and on adjoining parcels). In certain cases where standard street connectivity is either not possible or not recommended, the Town may require the installation of one or more emergency access gates leading to a gravel drive connecting with the adjacent property or roadway. The homeowners' association is responsible for the maintenance, testing and repairs of all functions of emergency access gates. An annual inspection and test of the gate shall be performed, and the results submitted to Town Hall. Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year-round maintenance and to submit a copy of the service agreement to Town Hall.*

Section 2. Amendments to the Unified Development Ordinance of the Town of Weddington (as originally adopted by Ordinance No. 2025-01) are hereby adopted to read as set forth in this Ordinance.

Section 3. The Town of Weddington does hereby certify that the amendments contained herein, as well as the provisions of this Ordinance, are consistent with and in conformance with the Town's Land Use Plan.

Section 4. Should any part or provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, the same shall not affect the validity of the Ordinance as a whole, or any part thereof other than the part declared to be invalid.

Section 5. Notice of the proposed enactment of this Ordinance has been properly advertised in a newspaper of general circulation in accordance with applicable law.

Section 6. This ordinance shall take effect immediately upon adoption.

PASSED ON FIRST AND FINAL
READING AND ADOPTED

Honorable Jim Bell
Mayor

Attest:

Karen Dewey
Town Administrator/Clerk



4500 Homestead

- Construction Equipment, debris
- Code Section: 34-131
- Status: Abatement
- Property Visit Date: 12/6/2024
- Warning Letter Date: 12/6/2024
- Notes:
 - o 8/7/2024 Inspected – Found spools of fiber optic cable. Continue Monitoring.
 - o 8/16/2024 Reinspect
 - o 8/28/2024 Courtesy Letter Sent
 - o 9/4/2024 Reinspect, pictures
 - o 9/10/2024 Return receipt received. Reinspect on 9/18/2024 for compliance
 - o 9/18/2024 Reinspected and took pictures. Trash found on site as well as the spools. Overgrowth is minimal. Trash likely constitutes a violation.
 - o 10/2/2024 Reinspected. Trash is worse than previous. Recommend a violation be sent. Also large brick piles noted in back as well as some metal found under a tarp. Pictures included in file.
 - o 10/11/2024 NOV Sent
 - o 10/30/2024 Inspected with pictures. Non-telecommunications related construction debris as well as trash still noted on site. 2nd citation sent out.
 - o 11/15/2024 Property inspected. Telecommunications debris has been removed. Generally construction debris remains. Third Citation sent. Will monitor weekly for ongoing fines.
 - o 12/6/2024 Debris still on site. Move to fines and abatement.
 - o 12/11/2024 Letter informing owner of current fines and possibility of abatement sent. Current fines at \$5000.

3505 Antioch Church Road

- Commercial Vehicles Parked
- Code Section: UDO 917-D-F
- Status: Courtesy
- Property Visit Date: 12/11/2024
- Warning Letter Date: 10/30/2024
- Notes:
 - o 8/7/2024 Continue Monitoring.
 - o 8/7/2024 Mayor received voice mail from Tracy Horton with complaint
 - o 8/16/2024 Reinspect 8/14. Letter for home occupation vehicle violations.
 - o 8/21/2024 Met with owners. In compliance. Continue monitoring.



Active Cases Code Enforcement Report

12/13/2024

- 9/6/2024 Continue Monitoring
- 9/11/2024 Continue Monitoring
- 9/18/2024 4 commercial vehicles noted on property. Pictures were taken.
- 10/2/2024 Pictures noted in file. Still appears to violate home occupation rules.
- 10/30/2024 Inspected with pictures. Commercial vehicles still on site. Courtesy letter was sent.
- Meeting was requested with staff. Scheduled for 11/13 at 10AM
- Meeting held on 11/15/2024. Residents making best efforts to relocate vehicles. Will monitor over coming months to ensure that the issue is resolved.
- 12/11/2024 Checked up on property. Commercial vehicles still present.

6939 Tree Hill Road

- Too many horses (3) on property.
- Code Section: UDO 917-D
- Status: Discovery
- Property Visit Date: 7/24/2024
- Warning Letter Date:
- Notes:
 - 8/7/2024 Reinspected 7/24
 - 8/7/2024 Received public records request.
 - 8/7/2024 Working on timeline for attorney. Original complaint was horses and junk. Additional included accessory structure too close to property lines.
 - 8/16/2024 Working on timeline for attorney. Original complaint was horses and junk. Investigating FHA allowances. Resident (not property owner) came into town hall 8/14
 - 8/30/2024 Staff working with town attorney for FHA ESA guidelines.
 - 9/6/2024 Staff working with Town attorney for FHA ESA Guidelines.
 - 9/11/2024 Staff working with Town attorney for FHA ESA Guidelines
 - 9/20/2024 Staff working with Town attorney for FHA ESA Guidelines
 - 10/2/2024 Staff working with Town attorney for FHA ESA Guidelines
 - 10/30/2024 No update

7200 Forest Ridge Road

- Possible unpermitted structures in floodplain.
- Code Section: UDO Appendix 7
- Status: Courtesy
- Property Visit Date: 10/30/2024
- Letter Date: 10/30/2024
- Notes:
 - Town will check historic correspondence and contact property owner.



Active Cases Code Enforcement Report

12/13/2024

- 8/16/2024 Staff working on historical research.
- 8/30/2024 Staff still working on timeline
- 9/6/2024 Staff working on timeline
- 10/2/2024 Staff still working on timeline
- 10/30/2024 Site inspected with pictures. At least one structure confirmed using arial images on GIS was built without a permit in the floodplain. Courtesy letter sent informing them to remove the structure or begin the permitting process.
- Meeting was requested with staff. Scheduled for 12/18 at 10AM

302 Turtleback Ridge

- Possible violation in common open space behind property – Felled Trees
- Code Section: 34-131
- Status: Second Citation
- Property Visit Date: 10/30/2024
- Warning Letter Date: 10/30/2024
- Notes:
 - 8/7/2024 Do the trees need to be cleaned up by the builder/HOA
 - 8/7/2024 Letter sent to builder/HOA
 - 8/30/2024 Builder working with property owners on Turtleback ridge for that issue and others not in the purview of Code Enforcement.
 - 9/6/2024 Continue monitoring. Inspect next week. Take pictures.
 - 9/11/2024 Inspect with photos
 - 9/18/2024 Property was inspected and pictures taken. Trees still appear to be visible. Appears to me to be clearly behind a fence that separates the home from common open space. Violation should be against the HOA not the property owner.
 - 10/2/2024 Notice should be sent to HOA. Logs appear to be on their property. Full extent is expansive. Photos in project file.
 - 10/11/2024 NOV Sent
 - 10/19/2024 Issue of remaining tree has been brought up by property owner multiple times. Town will need to determine next steps.
 - 10/30/2024 Inspected with pictures. Wood still on site. Second citation sent to HOA/Builders. Also the issue of remaining tree on site. Town needs to decide if they wish to declare it a nuisance. Contact was made with county Urban Forester who said he could meet a town official out there to see if the tree is in danger of falling. Waiting on meeting.
 - Lawyers for the HOA have requested the case be reset to the courtesy phase since they had not received notice until now due to inaccurate tax data. They also request the case be put on pause until a meeting with staff happens at a time they have not yet scheduled
 - Meeting scheduled for 12/9/2024



Active Cases Code Enforcement Report

12/13/2024

- Several possible resolutions were discussed at the meeting on the 9th. HOA is supposed to be getting back to us by the 20th with a plan moving forward. Issue of the tree the HOA said they will deal with if the property owner contacts them.

109 Foxton

- Construction debris and junk.
- Code Section: 34-131
- Status: Second Citation
- Property Visit Date: 12/06/2024
- Letter date:12/06/2024
- Notes:
 - 8/28/2024 Report of construction debris and junk. Inspected.
 - 9/6/2024 Inspect.
 - 9/11/2024 No violations noted. Reinspect with pictures
 - 9/18/2024 Reinspected and took pictures. Large dumpster seen on property filled with trash. Appears to be interior remodel.
 - 10/30/2024 Inspected with pictures. Property appears to be being remodeled. Porch was removed. No permit found for remodel, so courtesy letter was sent.
 - 11/15/2024 Violation still noted upon inspection. Sending first citation notice.
 - 12/6/2024 Violation still noted upon inspection. Sending second citation notice.

2843 Forest Lawn Dr

- Trash on property
- Code Section: 34-131
- Status: Courtesy
- Property Visit Date: 10/23/2024
- Letter Date: 10/23/2024
- Notes:
 - 10/23/2024 Inspected with pictures. Loose trash noted near stormwater ditch on property. Courtesy letter sent.
 - 10/8/2024 Inspected property. Trash was picked up and site looks clean. Will continue monitoring and if it stays in good condition case will be closed.
 - 11/15/2024 No trash noted.

2025

2024

Assets

10-1120-000	SOUTH STATE CHECKING ACCOUNT	736,764.46	725,906.57
10-1120-001	TRINITY MONEY MARKET	0.00	0.00
10-1120-002	CITIZENS SOUTH CD'S	0.00	0.00
10-1130-000	BB&T/TRUIST CHECKING	1,761,869.39	1,243,910.88
10-1130-001	BB&T/TRUIST MONEY MARKET	1,305,483.77	789,468.25
10-1140-000	NC CLASS INVESTMENT ACCOUNT	254,894.49	0.00
10-1170-000	NC CASH MGMT TRUST	5,025,118.17	4,707,027.01
10-1205-000	A/R OTHER	0.00	0.00
10-1210-000	A/R SOLID WASTE FEES	160,648.80	68,127.53
10-1210-001	A/R SOLID WASTE FEES PRIOR YR	0.00	0.00
10-1210-002	A/R SOLID WASTE FEES NEXT 8 PY	51,874.31	0.00
10-1211-001	A/R PROPERTY TAX	108,335.91	24,089.41
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	17,386.96	5,915.39
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	8,021.84	3,273.69
10-1213-000	A/R PROPERTY TAX INTEREST RECEIVABL	1,047.47	2,057.67
10-1214-000	PREPAID ASSETS	0.00	34,775.22
10-1215-000	A/R INTERGOVT-LOCAL OPTION SALES TX	0.00	114,629.82
10-1216-000	A/R INTERGOVT - MOTOR VEHICLE TAXES	0.00	12,470.43
10-1217-000	A/R INTERGOVT	0.00	112,103.30
10-1232-000	SALES TAX RECEIVABLE	670.89	670.89
10-1240-000	INVESTMENT INCOME RECEIVABLE	0.00	0.00
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	2,513,697.44	2,513,697.44
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	9,651.96	9,651.96
10-1610-003	FIXED ASSETS - EQUIPMENT	17,747.14	17,747.14
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.00	26,851.00
10-1610-005	FIXED ASSETS - COMPUTERS	9,539.00	9,539.00
10-1610-006	FIXED ASSETS - COMPUTER SOFTWARE	182,994.00	182,994.00
	Total Assets	<u>12,192,597.00</u>	<u>10,604,906.60</u>

Liabilities & Fund Balance

10-2110-000	ACCOUNTS PAYABLE	0.00	0.00
10-2115-000	ACCOUNTS PAYABLE ACCRUAL	5,206.34	38,473.39
10-2116-000	CUSTOMER REFUNDS	13,557.15	7,959.89
10-2120-000	BOND DEPOSIT PAYABLE	47,896.25	47,896.25
10-2151-000	FICA TAXES PAYABLE	0.00	0.00
10-2152-000	FEDERAL TAXES PAYABLE	0.00	0.00
10-2153-000	STATE W/H TAXES PAYABLE	305.00-	305.00-
10-2154-001	NC RETIREMENT PAYABLE	0.00	0.00
10-2155-000	HEALTH INSURANCE PAYABLE	0.00	0.00
10-2156-000	LIFE INSURANCE PAYABLE	0.00	0.00
10-2157-000	401K PAYABLE	0.00	0.00
10-2200-000	ENCUMBRANCES	0.00	0.00
10-2210-000	RESERVE FOR ENCUMBRANCES	0.00	0.00
10-2605-000	DEFERRED REVENUES- TAX INTEREST	1,047.47	2,057.67
10-2610-000	DEFERRED REVENUE SOLID WASTE FEES	160,648.80	68,127.53
10-2610-001	DEFERRED REVENUE SOLID WASTE PY	0.00	0.00
10-2610-002	DEFERRED REVENUE SOLID WASTE N8 PY	51,874.31	0.00
10-2620-000	DEFERRED REVENUE - DELQ TAXES	17,386.96	5,915.39
10-2625-000	DEFERRED REVENUE - CURR YR TAX	108,335.91	24,089.41
10-2630-000	DEFERRED REVENUE-NEXT 8	8,021.84	3,273.69
10-2635-000	DEFERRED REVENUE - PREPAID TAXES	0.00	609.44
	Total Liabilities	<u>413,670.03</u>	<u>198,097.66</u>

WEDDINGTON
General Fund
BALANCE SHEET
AS OF: 12/31/24

2025

2024

10-2640-001	FUND BALANCE - UNASSIGNED	3,997,645.88	3,997,645.88
10-2640-002	FUND BALANCE - RESERVE WATER/SEWER	0.00	0.00
10-2640-003	FUND BALANCE-ASSIGNED	820,000.00	820,000.00
10-2640-004	FUND BALANCE-INVEST IN FIXED ASSETS	2,760,480.54	2,760,480.54
10-2640-005	CURRENT YEAR EQUITY YTD	0.00	0.00
	Total	<u>7,578,126.42</u>	<u>7,578,126.42</u>
	Revenue	534,705.03-	5,237,544.61
	Less Expenses	<u>1,906,823.06-</u>	<u>3,953,385.47</u>
	Net	<u>1,372,118.03</u>	<u>1,284,159.14</u>
	Total Fund Balance	<u>8,950,244.45</u>	<u>8,862,285.56</u>
	Total Liabilities & Fund Balance	<u>9,363,914.48</u>	<u>9,060,383.22</u>

WEDDINGTON
Statement of Revenue and Expenditures - Standard

Revenue Account Range: First to zz-zzzz-zzz	Include Non-Anticipated: Yes	Year To Date As Of: 12/31/24
Expend Account Range: First to zz-zzzz-zzz	Include Non-Budget: No	Current Period: 12/01/24 to 12/31/24
Print Zero YTD Activity: No		Prior Year: Thru 06/30/24

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
10-3101-110	AD VALOREM TAX - CURRENT	1,405,902.80	775,000.00	154,910.66	705,831.75	69,168.25-	91
10-3102-110	AD VALOREM TAX - 1ST PRIOR YR	18,602.58	10,000.00	1,467.62	6,729.26	3,270.74-	67
10-3103-110	AD VALOREM TAX - NEXT 8 YRS PRIOR	2,470.00	200.00	423.02	559.77	359.77	280
10-3110-121	AD VALOREM TAX - MOTOR VEH CURRENT	138,445.99	72,500.00	17,682.99	42,651.96	29,848.04-	59
10-3115-180	TAX INTEREST	8,227.19	1,750.00	595.89	893.87	856.13-	51
10-3120-000	SOLID WASTE FEE REVENUES	1,186,449.41	1,175,000.00	220,884.60	1,073,700.15	101,299.85-	91
10-3231-220	LOCAL OPTION SALES TAX REV - ART 39	701,355.28	370,500.00	55,604.71	230,400.18	140,099.82-	62
10-3322-220	BEER & WINE TAX	67,722.79	45,000.00	0.00	0.00	45,000.00-	0
10-3324-220	UTILITY FRANCHISE TAX	498,024.79	445,000.00	135,964.40	135,964.40	309,035.60-	31
10-3328-220	SCIF STATE GRANT FUNDS	153,081.57	0.00	0.00	0.00	0.00	0
10-3329-220	ARPA FEDERAL FUNDS	639,273.64	0.00	0.00	195,969.19	195,969.19	0
10-3333-220	SOLID WASTE DISP TAX	2,609.38	0.00	2,856.80	2,856.80	2,856.80	0
10-3340-400	ZONING & PERMIT FEES	35,109.50	12,500.00	2,642.50	13,135.00	635.00	105
10-3350-400	SUBDIVISION FEES	28,121.25	7,500.00	0.00	7,110.03	389.97-	95
10-3360-400	STORMWATER EROSION CONTROL FEES	12,000.00	5,000.00	0.00	308.75	4,691.25-	6
10-3830-891	MISCELLANEOUS REVENUES	27,423.36	28,000.00	62.00	4,021.25	23,978.75-	14
10-3831-491	INVESTMENT INCOME	312,725.08	150,000.00	23,227.24	143,112.61	6,887.39-	95
General Fund Revenue Totals		5,237,544.61	3,097,950.00	616,322.43	2,563,244.97	534,705.03-	82

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
10-4110-000	GENERAL GOVERNMENT	0.00	0.00	0.00	0.00	0.00	0
10-4110-110	SOLID WASTE	0.00	0.00	0.00	0.00	0.00	0
10-4110-115	SOLID WASTE	1,022,462.92	1,042,650.00	84,334.48	506,006.88	536,643.12	49

WEDDINGTON
Statement of Revenue and Expenditures

01/08/2025
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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
10-4110-120	FIRE	0.00	0.00	0.00	0.00	0.00	0
10-4110-126	FIRE DEPT SUBSIDIES	841,976.04	0.00	0.00	0.00	0.00	0
10-4110-127	FIRE DEPARTMENT BLDG/MAINTENANCE	0.00	5,000.00	0.00	0.00	5,000.00	0
10-4110-150	POLICE	0.00	0.00	0.00	0.00	0.00	0
10-4110-155	POLICE PROTECTION	352,553.88	588,670.00	0.00	196,220.30	392,449.70	33
10-4110-180	GOVERNING BOARD	0.00	0.00	0.00	0.00	0.00	0
10-4110-190	LEGAL	0.00	0.00	0.00	0.00	0.00	0
10-4110-192	ATTORNEY FEES - GENERAL	61,560.00	70,000.00	5,000.00	25,000.00	45,000.00	36
10-4110-193	ATTORNEY FEES - LITIGATION	750,000.00	5,000.00	0.00	0.00	5,000.00	0
10-4110-320	OTHER GENERAL GOVERNMENT	0.00	0.00	0.00	0.00	0.00	0
10-4110-330	ELECTION EXPENSE	14,769.48	5,000.00	0.00	0.00	5,000.00	0
10-4110-340	PUBLICATIONS	0.00	4,675.00	0.00	0.00	4,675.00	0
10-4110-342	HOLIDAY/TREE LIGHTING	6,657.47	4,500.00	741.92	6,451.59	1,951.59-	143
10-4110-343	SPRING EVENT	4,910.89	10,250.00	0.00	0.00	10,250.00	0
10-4110-344	OTHER COMMUNITY EVENTS	2,028.18	1,500.00	0.00	0.00	1,500.00	0
10-4110-498	LIBRARY DONATIONS	0.00	75,000.00	0.00	0.00	75,000.00	0
	4110 GENERAL GOVERNMENT	3,056,918.86	1,812,245.00	90,076.40	733,678.77	1,078,566.23	40
10-4120-000	ADMINISTRATIVE	0.00	0.00	0.00	0.00	0.00	0
10-4120-120	SALARIES & EMPLOYEE BENEFITS	0.00	0.00	0.00	0.00	0.00	0
10-4120-121	SALARIES - ADMINISTRATOR/CLERK	66,330.29	69,550.00	5,687.50	35,553.09	33,996.91	51
10-4120-123	SALARIES - TAX COLLECTOR	55,432.50	60,500.00	5,687.64	30,331.94	30,168.06	50
10-4120-124	SALARIES - FINANCE OFFICER	19,036.59	21,755.00	1,024.00	9,523.46	12,231.54	44
10-4120-125	SALARIES - MAYOR & TOWN COUNCIL	26,500.00	25,200.00	2,100.00	12,600.00	12,600.00	50
10-4120-181	FICA EXPENSE	12,798.46	14,300.00	1,109.17	6,732.56	7,567.44	47
10-4120-182	EMPLOYEE RETIREMENT	25,570.30	28,325.00	2,469.55	14,303.64	14,021.36	50
10-4120-183	EMPLOYEE INSURANCE	15,504.00	32,150.00	2,748.00	16,495.00	15,655.00	51

WEDDINGTON
Statement of Revenue and Expenditures

01/08/2025
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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
10-4130-120	SALARIES & EMPLOYEE BENEFITS	0.00	0.00	0.00	0.00	0.00	0
10-4130-121	SALARIES - ZONING ADMINISTRATOR	54,767.40	80,750.00	6,666.66	40,450.43	40,299.57	50
10-4130-123	SALARIES - ADMINISTRATIVE ASSISTANT	20,316.69	21,950.00	1,807.87	11,961.94	9,988.06	54
10-4130-124	SALARIES - PLANNING BOARD	2,500.00	5,150.00	200.00	1,100.00	4,050.00	21
10-4130-125	SALARIES - SIGN REMOVAL	3,600.45	3,600.00	378.00	1,767.15	1,832.85	49
10-4130-181	FICA EXPENSE - P&Z	6,210.98	8,475.00	637.61	4,174.12	4,300.88	49
10-4130-182	EMPLOYEE RETIREMENT - P&Z	8,615.10	17,675.00	1,114.00	6,759.27	10,915.73	38
10-4130-183	EMPLOYEE INSURANCE	1,080.00	16,125.00	1,374.00	8,244.00	7,881.00	51
10-4130-184	EMPLOYEE LIFE INSURANCE	35.52	375.00	25.60	153.60	221.40	41
10-4130-185	EMPLOYEE S-T DISABILITY	14.00	200.00	14.00	84.00	116.00	42
10-4130-190	CONTRACTED SERVICES	0.00	0.00	0.00	0.00	0.00	0
10-4130-192	CONSULTING STORMWATER CONTROL	46,647.58	60,000.00	0.00	31,421.17	28,578.83	52
10-4130-193	CONSULTING	70,398.29	65,000.00	0.00	16,365.28	48,634.72	25
10-4130-194	CONSULTING - COG	0.00	17,500.00	0.00	0.00	17,500.00	0
10-4130-195	STORMWATER EROSION CONTROL	8,255.80	0.00	0.00	0.00	0.00	0
10-4130-200	OTHER PLANNING	0.00	0.00	0.00	0.00	0.00	0
10-4130-201	OFFICE SUPPLIES - PLANNING & ZONING	5,518.43	7,500.00	366.48	1,380.23	6,119.77	18
10-4130-215	HISTORIC PRESERVATION	0.00	250.00	0.00	0.00	250.00	0
10-4130-220	INFRASTRUCTURE	102,000.00	179,000.00	0.00	75,000.00	104,000.00	42
10-4130-321	TELEPHONE - PLANNING & ZONING	1,775.99	2,000.00	155.49	777.40	1,222.60	39
10-4130-325	POSTAGE - PLANNING & ZONING	1,539.85	2,500.00	0.00	992.88	1,507.12	40
10-4130-331	UTILITIES - PLANNING & ZONING	4,311.84	5,048.85	384.77	1,497.18	3,551.67	30
10-4130-370	ADVERTISING - PLANNING & ZONING	721.58	500.00	0.00	0.00	500.00	0
10-4130-500	CAPITAL EXPENDITURES - P&Z	0.00	200,000.00	0.00	0.00	200,000.00	0
	4130 ECONOMIC & PHYSICAL DEVELOPMEN	338,309.50	693,598.85	13,124.48	202,128.65	491,470.20	29
	General Fund Expenditure Totals	3,953,385.47	3,097,998.85	142,960.91	1,191,126.94	1,906,871.91	38

WEDDINGTON
Statement of Revenue and Expenditures

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10 General Fund	Prior	Current	YTD
Revenues:	<u>5,237,544.61</u>	<u>616,322.43</u>	<u>2,563,244.97</u>
Expenditures:	<u>3,953,385.47</u>	<u>142,960.91</u>	<u>1,191,126.94</u>
Net Income:	1,284,159.14	473,361.52	1,372,118.03

Grand Totals	Prior	Current	YTD
Revenues:	<u>5,237,544.61</u>	<u>616,322.43</u>	<u>2,563,244.97</u>
Expenditures:	<u>3,953,385.47</u>	<u>142,960.91</u>	<u>1,191,126.94</u>
Net Income:	1,284,159.14	473,361.52	1,372,118.03

**TOWN OF WEDDINGTON
ARPA QUARTERLY UPDATE
AS OF 12/31/24**

BEGINNING ARPA BALANCE		\$ 1,635,187.50
SPENT 10/1/21-6/30/23		(799,944.67)
SPENT 7/1/23-6/30/24		(639,273.64)
BALANCE AT 7/1/24		<u>\$ 195,969.19</u>
SPENT 7/1/24-12/31/24		
SHERIFF	(196,220.30)	<u>(195,969.19)</u>
BALANCE REMAINING AT 12/31/24		<u>\$ 0.00</u>

**TOWN OF
W E D D I N G T O N
MEMORANDUM**

TO: Mayor and Town Council
FROM: Kim Woods, Tax Collector
DATE: January 13,2025
SUBJECT: Tax Report– December 2024

Transactions:	
Balance Adjustments	\$(970.00)
Refunds	\$5311.28
Solid Waste & Conversion	\$(354.51)
Taxes Collected:	
2016	\$(109.77)
2017	\$(109.77)
2018	\$(109.77)
2019	\$(117.06)
2020	\$(122.03)
2021	\$(139.22)
2022	\$(347.06)
2023	\$(2339.68)
2024	\$(383,025.51)
As of December 31, 2024; the following taxes remain Outstanding:	
2014	\$137.47
2015	\$187.26
2016	\$251.29
2017	\$429.85
2018	\$146.93
2019	\$465.35
2020	\$409.95

2021	\$1141.58
2022	\$5703.71
2023	\$28,783.51
2024	\$258,255.38
Total Outstanding:	\$295,912.28