



**TOWN OF WEDDINGTON
REGULAR PLANNING BOARD MEETING
MONDAY SEPTEMBER 23, 2024 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

1. Call to Order
2. Determination of Quorum
3. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
4. Approval of Minutes
 - A. August 26, 2024 Planning Board Regular Meeting
5. Public Comments: *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*
6. Old Business
 - A. Discussion and Possible Recommendation of an application by ODA Architecture requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road.
7. New Business
 - A. Discussion and Possible Recommendation of an application by Keystone Custom Homes requesting Conditional Zoning Approval for a 12-Lot Subdivision located on Deal Road
 - B. Discussion and Possible Recommendation of text amendments to the Town of Weddington Unified Development Ordinance
 - i. Section D-917A.O. Buffering.
 - ii. Section D-607 Weddington Specific Process Steps for Legislative Decisions.
8. Update from Town Planner and Report from September Town Council Meeting
9. Board member Comments
10. Adjournment



**TOWN OF WEDDINGTON
REGULAR PLANNING BOARD MEETING
MONDAY AUGUST 26, 2024 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
PAGE 1 OF 8**

1. Call to Order

Chairman Manning called the meeting to order at 7:00 p.m.

2. Determination of Quorum

Quorum was determined with Chairman Travis Manning, Vice Chairman Amanda Jarrell, Board members Chris Faulk, Rusty Setzer, Nancy Anderson, and Bill Deter present. Board member Manish Mittal was absent.

Staff Present: Town Planner Greg Gordos, Town Administrator/Clerk Karen Dewey, Admin Assistant/Deputy Clerk Debbie Coram, Deputy Grant Wrenn

Visitors: Chris Walker, Christopher Neve, Tracy Stone, Alfred Pecalton, Tanner Bailey, George Walsh, Neil Rayson, Alexa Polivka, Marla Schopa, Gayle Butler, Walton Hogan, Melissa Emerine, Chad Emerine, Steven Overcash

3. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Chairman Manning read the Conflict of Interest Statement. Board member Anderson recused herself from discussion and vote from agenda item 7.A. Discussion and Possible Recommendation of an application by ODA Architecture requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road because she is an adjoining property owner.

Chairman Manning asked if Board member Anderson has any financial benefit from the project. She responded that she does not. The Board agreed that Board member Anderson can discuss and answer questions, but she is recused from a possible vote.

4. Approval of Minutes

A. June 24, 2024 Planning Board Regular Meeting

- Motion:*** Board member Deter made a motion to approve the June 24, 2024 Planning Board Regular Meeting Minutes as presented
- Second:*** Board member Jarrell

Vote: The motion passed with a unanimous vote.

5. Public Comments: *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*

Chad Emerine 953 Eagle Road. Mr. Emerine commented on the incomplete application for agenda item 7.A. He expressed concern that this project is outside of the downtown overlay and when the first project was approved, the stormwater requirement was for a 25-year flood and now the requirements are for 100-year. Mr. Emerine expressed support for the minimum RCD lot size to be increased to 20,000 sq feet and increasing the side and front setbacks.

Melissa Emerine 953 Eagle Road. Ms. Emerine commented that she doesn't believe the town needs additional medical buildings. She expressed her concern that the additional buildings will create risk for pedestrians crossing Providence Road to the shopping center. She asked about the septic system and the kinds of testing done. Ms. Emerine expressed her opposition to the additional buildings.

Steven Overcash – applicant. Mr. Overcash stated that he is representing the applicant and is willing to answer any questions.

Gayle Butler 5146 Panhandle Circle. Ms. Butler commented on her concern with the Polivka project and the possible traffic issues. She expressed that the town doesn't need additional medical buildings and this project is not in Weddington's brand.

6. Old Business

A. Discussion and Possible Recommendation of O-2024-04 amending the Town of Weddington Unified Development Ordinance Section D-703.E. Lot and Building Standards Table.(minimum lot size) for R-CD Conservation zoning districts.

Mr. Gordos presented the staff report: At its meeting of June 24, 2024, the Planning Board, as a part of a discussion regarding changes to the requirements for a R-CD (Conservation) subdivision, requested staff to prepare an amendment modifying the requirements lot size, width, and other dimensions with consideration for several options. The Planning Board discussed comparison between subdivisions created with careful design consideration versus contemporary submittals which may not meet the intent of the original creation of open space development. Based upon the direction received from the Planning Board, staff proposes amendments to Section D-703E. Lot and Building Standards Table (Table 2) with at least three separate text amendments for consideration. The Board can select "Option A", "Option B", "Option C", or any combination thereof, or choose to leave the dimensional requirements for R-CD (Conservation) as adopted.

Board members discussed Option "A" which mirrors existing RE zoning with 20,000 sq. ft lots, Option "B" with 15,000 sq. ft. lots and Option "C", with 18,000 sq. ft lots. Option C was floated as a compromise. Lot width to be increased to 100 ft. Board members discussed preserving backyards and not making setbacks more restrictive than the R-40 standards.

Board member Anderson asked if making lot size bigger would impact the number of lots. Mr. Gordos responded that the lot count is guided by the yield plan. Board member Anderson also asked if increasing

the lot size will discourage RCD development. Mr. Gordos responded that staff intention is not to discourage RCD development by increasing lot size.

Board member Setzer asked if changing the lots size requirement would impact infrastructure. Would there be room for lots and infrastructure. Mr. Gordos responded that can't be said at this time.

Board member Jarrell commented that if the lots size is increased and setbacks are increased, will that decrease the amount of yard usable for the homeowner. The board members discussed setback requirements and lot width requirements.

Board member Deter proposed increasing the minimum lot size to 18,000 sq ft and requiring the average size of the lots to be 20,000 sq. ft. Minimum lot width required is proposed to be changed to 100 feet and minimum front set back to remain at 20 feet, rear setback requirement be increased to 40 feet and side setbacks to be increased to 12 feet.

Board member Faulk commented that 15,000 sq. ft. is a small bump up. 18,000 with the 20,000 average square feet will give incentive for conservation development. He stated his support for Option "C" with adding the average lot size requirement.

Motion: Board member Deter made a motion to recommend for approval to the Town Council Text Amendment O-2024-04 increasing the minimum lot size requirement for RCD Subdivisions to 18,000 square feet and require an average lot size in proposed RCD developments to be 20,000 square feet and also increase the side setback requirements to 12 feet, rear setback requirement to 40 feet, and minimum lot width to 100 feet.

Second: Board member Faulk

Vote: The motion passed with a unanimous vote.

7. New Business

A. Discussion and Possible Recommendation of an application by ODA Architecture requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road.

Mr. Gordos presented the staff report: The applicant, operating on-site as Polivka International, is proposing the development of two new office/medical office buildings to the east of the current office building. The two buildings are 10,000 square feet of space each in two stories; closer to Providence Road but behind the current retention pond for stormwater. These buildings are angled towards the entrance along Providence per community feedback provided in one of two Community Meetings held for the project. Hunter Farm is directly to the north of the site. Weddington Methodist Church is to the south. Harris-Teeter grocery store and other commercially zoned uses are found to the east, as is Town Hall.

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development. This proposal matches the existing character of office use and the property is properly zoned MX, Mixed Use. Land uses permitted in the MX zone also need to be explicit to avoid allowing mercantile

commercial uses that should be in the Business zones, continuing use for office spaces and medically offices as requested.

It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a two office/medical office building generally located at Providence Road and Weddington Road, be recommended for approval with conditions.

An engineering report made and certified as true and correct by a registered engineer licensed to do business in the state. Such report shall include the following:

1. The routing of stormwater for the predevelopment and post-development conditions of the proposed building lot.
2. Calculations showing the peak estimated rates of runoff using a ten-year return period for predevelopment and post-development conditions for the lot, including each stream leaving the proposed building lot.
3. Calculations, plans, and specifications for stormwater retention/detention facilities or other means to effect peak rate attenuation.
4. A statement indicating the rate of post-development stormwater runoff for the proposed building lot will not be greater than the predevelopment rate for a 100-year storm.

A statement from the owner acknowledging responsibility for the operation and maintenance of required retention/detention facilities, and to disclose such obligation to future owners.

A dedicated Landscape Plan shall be submitted meeting all landscape and buffer requirements of the Town of Wedding Unified Development Ordinance (Section D-918. General Requirements.)

Board member Deter commented on the responsibility of the applicant to submit a complete application. He specified that septic details and stormwater requirements were not included in the application.

Motion: Board member Deter made a motion to table discussion of the application for 30 days to give the applicant the opportunity to provide all the information required in the UDO.

Board member Anderson asked about the submittal requirements to be provided at this stage in the process. Board members discussed the development application process. Board member Deter asked if there had been a septic analysis done to determine if the existing system would support the additional buildings. Mr. Deter read a statement from the staff report: "A lack of detail in the submittal in regard to stormwater, septic, setback, parking dimensions, and landscaping make determining full compliance challenging without more detail in the site plan". Mr. Overcash stated that it was not requested of him to present those items.

Chairman Manning called for order in the meeting. Chairman Manning asked for clarification in the procedure. Mr. Gordos stated that there is no policy to set order of presentation. Mr. Gordos clarified that the level of detail in the site plan is schematic in nature and serves as a preliminary plat consideration in conditional zoning. Not all details are completed. Site plan consideration is roughly compared to preliminary plat in conditional zoning consideration.

Board member Deter withdrew the motion to allow the applicant to make their presentation.

The applicant, Mr. Overcash presented the application. This process has been ongoing over a year. He reviewed the changes made to the plan after the community meeting feedback and the different

steps that have been taken, the applicant has completed a septic design with calculations, a traffic study. To ask for 100% civil set of plans at this point without the conditional zoning approval isn't right. The elevations of the buildings were changed to be more visually appealing and the layout of the buildings on the property was changed.

Chairman Manning asked was the original septic system designed for the two additional buildings. Mr. Overcash said that it was not.

Board member Setzer questioned why the applicant was adding two more buildings when only one building was agreed to in 2012 and why would the board consider recommendation. Chairman Manning asked if that agreement was in writing. Mr. Overcash responded he doesn't have recollection of that agreement. Board member Deter clarified that the original building was for Mr. Polivka's employees and with two additional buildings are not only for Mr. Polivka's employees. Ms. Polivka stated that they have been receiving a lot of inquiries for office space in the area.

Mr. Overcash asked about the agreement for one building as he doesn't remember it as a condition. Mr. Gordos clarified that from staff perspective this is a conditional zoning and the town has a new UDO and would rather stick to current standards.

Board member Faulk asked if what was presented is the final building configuration. Mr. Overcash responded that it was. Board member Faulk asked if any preliminary work has been done on the stormwater retention. Mr. Overcash responded that it can be provided. It can be a condition as a part of the permitting process. Board member Faulk stated that he would rather see these presented so the public sees what the Board sees, even with a rough number on the retention.

Board members discussed the setback next to the church and the height of the buildings. UDO Section D-917C(A)(3) requires all buildings or structures within 50 feet of residentially zoned property be limited to two stories and have a maximum building height of 35 feet. The left building is 28 feet from the property line. Board member Jarrell commented that while it is a residentially zoned property, the church is not a residential development, so it is her opinion that the height doesn't really matter.

Board member Deter stated that septic and stormwater are the two biggest issues in town right now. The requirements for submittal are referenced on the application and the burden should not be on the Town Planner to get the missing elements of the application submittal. Board member Deter reviewed the missing pieces of the application.

- Motion:** Board member Deter made a motion to table the recommendation of an application by ODA Architecture requesting Conditional Zoning Approval for the development of a two-building office expansion located at 13700 Providence Road until the September 26, 2024 Regular Planning Board meeting.
- Second:** Board member Faulk
- Vote:** The motion passed with a majority vote: Board members Jarrell, Faulk, Setzer, and Deter voted in favor. Board member Anderson abstained from voting.

~~B. WITHDRAWN Discussion and Recommendation of an application by Classica Homes requesting Conditional Zoning Approval for the Weddington Grove Development, a 9-lot subdivision located at 3308 Forest Lawn Drive, parcel number 06063001.~~

Mr. Gordos stated that this application was withdrawn after the agenda was drafted at the applicant's request. Staff has not determined if the application will be on a future agenda.

C. Discussion and Possible Consideration of an entry sign for Luna Subdivision under Section D-918.J. Fences and Walls Permitted Within Yard Areas

Mr. Gordos reviewed Section D-918 Subdivision entry and perimeter walls and entry monuments are not required to be of any specific height or style but are subject to review and approval of the planning board prior to the start of construction.

Board members reviewed the submitted plans for the entry monument for the Luna Subdivision that was approved as a conditional zoning in November 2023. Chairman Manning asked about the lighting. The applicant stated that low underneath the metal roof LED lighting is planned and some uplighting/landscape lighting. Board member Anderson commented to the applicant that plantings can be too big in a couple years and may cover the sign. The applicant agreed.

Motion: Board member Setzer made a motion to approve the submitted entry sign for the Luna Subdivision under Section D-918.J. Fences and Walls permitted within yard areas

Second: Board member Faulk

Vote: The motion passed with a unanimous vote.

8. Update from Town Planner and Report from the July and August Town Council Meetings

- **Deal Lake Subdivision**
 - 93-lot Conservation subdivision
 - Site Walk/ Charette: 11/28/23
 - Community Meeting: 5/2/24
 - 2nd Community Meeting: 7/16/24
 - Planning Board: TBD
- **Rea/ Providence Subdivision**
 - Conventional subdivision, 54 lots
 - Planning Board: 6/24/24, TABLED
- **3308 Forest Lawn Drive**
 - Conventional subdivision, 9 lots
 - Community Meeting: 7/11/24
- **7112 New Town Road**
 - Prop. Land Use: Churches, Synagogues and Other Places of Worship
 - Community Meeting: 5/22/24, 6/20/24
 - Planning Board: TBD
- **Deal Road (Keystone)**
 - Conventional subdivision, 12 lots
 - Community Meeting: 7/24/24

- **149 S. Providence Road (Empire)**
 - Conventional subdivision, 34 lots
 - Community Meeting: 6/27/24
- **13700 Providence Road**
 - 2 additional buildings, MX (CD) zoning
 - Community Meeting: 6/10/24
 - 2nd Community Meeting: 8/5/24

9. Board member Comments

Board member Deter: I appreciate everybody coming out. That's what we're supposed to say at every meeting. It is a true statement though. I'm glad to see people getting involved. I think we're making really good progress as a Planning Board with our discussions of topics. I can tell that Greg and the Staff are really busy with stuff coming down the road here.

Board member Setzer: Thank you to Greg and Karen as always. Thank you folks for coming out tonight, it's always good to see participation.

Board member Anderson: I have a question: does the board have a policy about members meeting individually with developers when people reach out. I ask that because people have reached out and I don't want anyone to think I'm speaking for the board. I was uncomfortable so I wanted to be able to say it's against the policy.

Board member Jarrell: I have the same question.

Board member Faulk: I make it very clear I'm not speaking for the board. If they want my insight, that's for them to use or not. I'm not holding back with them either.

Board member Deter suggested meeting at Town Hall with the Planner.

Board member Setzer stated that he declines the meeting requests.

Board member Anderson: I always want to get community input; people come to the farm and ask questions and talk to me. I want to be open, but it felt awkward, so I didn't participate.

Chairman Manning stated that there isn't a policy and they are allowed to approach board members.

Board member Jarrell stated that as a real estate agent talking to a builder recently that held meetings with board members, and it doesn't feel transparent and I think our board should be transparent. She stated she has mixed feelings about it. First day of school- thank you to all of the teachers in Weddington and the EC teams. They are awesome.

Board member Faulk: Thank you to staff and everyone for coming. Looking forward to the next one.

Chairman Manning: I'll piggyback on Amanda's comment-first day of school. I appreciate our deputies in the area. I know they responded to several car accidents today, hopefully with no major injuries. School's back in session! I appreciate everybody coming out.

10. Adjournment

- Motion:*** Board member Deter made a motion to adjourn the August 26, 2024 Regular Planning Board Meeting at 8:36 p.m.
- Second:*** Board member Faulk
- Vote:*** The motion passed with a unanimous vote.

Approved: _____

DRAFT

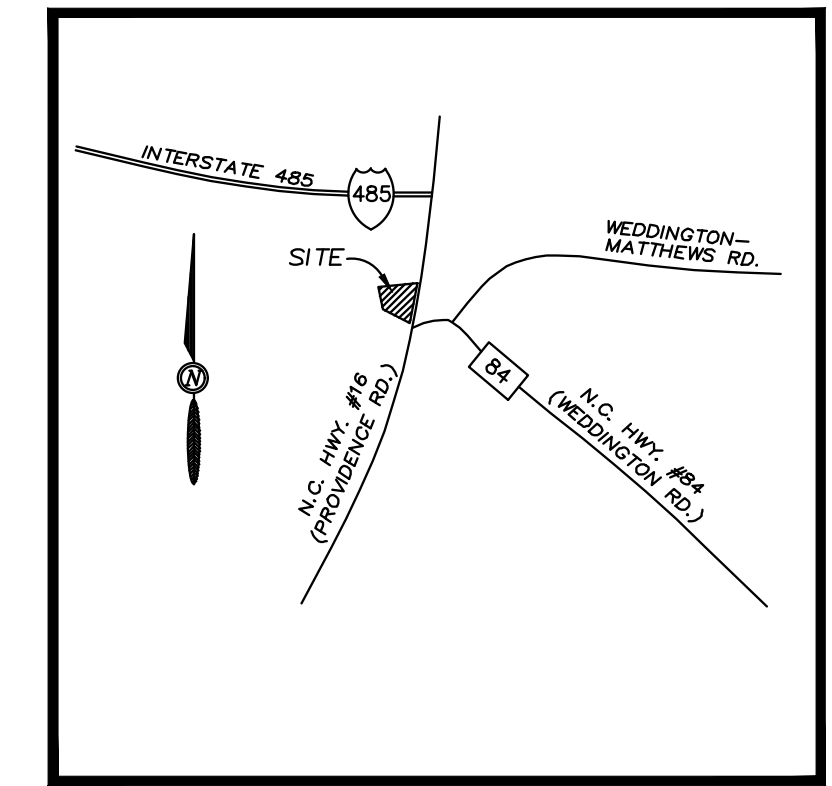
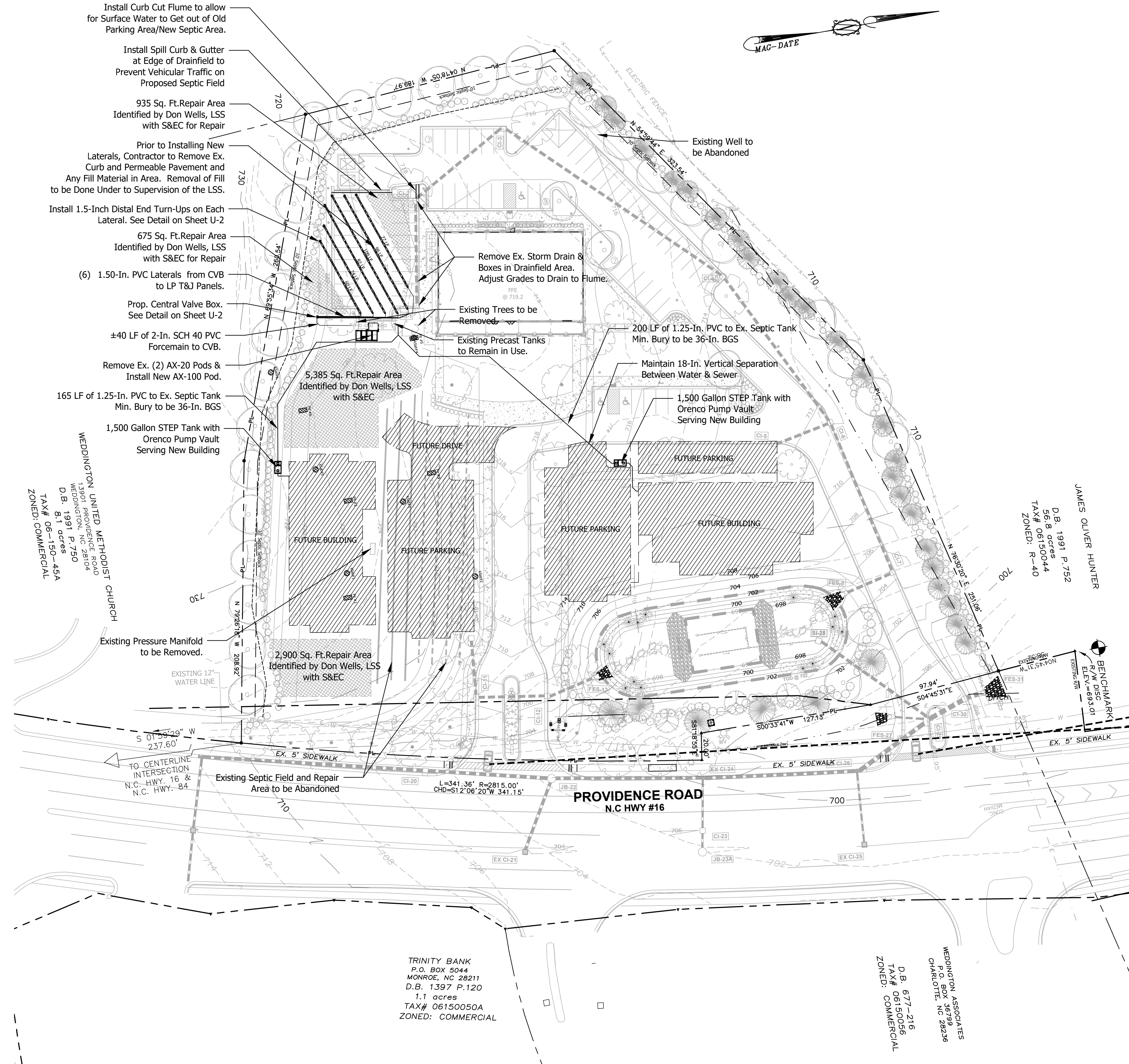
ENGINEER:
 PIEDMONT DESIGN ASSOCIATES, PA
 125 EAST PLAZA DRIVE, SUITE 101
 MOORESVILLE, NC 28115
 DONALD L. MUNDAY, PE
 (704) 664-7888
 LICENSE NO: 17327

SOIL SCIENTIST:
 SOIL & ENVIRONMENTAL CONSULTANTS, PA
 8412 FALLS OF NEUSE ROAD
 RALEIGH, NC 27615
 DON WELLS, LSS
 (919) 846-5900
 LICENSE NO: 1099

SURVEYOR:
 THE ISAACS GROUP
 8720 RED OAK BLVD # 420
 CHARLOTTE, NC 28217
 STEVE DYER, PLS
 (704) 527-3440
 LICENSE NO: L-3509

SEPTIC CONTRACTOR:
 AQWA
 2604 WILLIS COURT
 WILSON, NC 27896
 (252) 243-7693
 LICENSE NO: 57240

PROPERTY OWNER:
 POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, 200
 WEDDINGTON, NC 28207
 (704) 321-0802



VICINITY MAP
 NO SCALE

MARINA DESIGN NOTES:

DESIGN FLOW:	1,600 G/D
REPAIR LTAR:	0.55 G/D/SF (LP PPBPS)
EX. SEPTIC TANK SIZE:	2,000 GALLON (BAFFLED)
NEW STEP TANK SIZE:	(2) 1,500 GALLON STEP TANKS
NEW EFFLUENT FILTER:	ORENCO MODEL
RECIRCULATION TANK SIZE:	EX. 2,000 GALLON PRECAST TANK
PUMP TANK SIZE:	EX. 1,000 GALLON PRECAST TANK
UV FILTER:	
FIELD DOSING PUMPS:	ORENCO MODEL PF2005-12
SUBSURFACE DISTRIBUTION:	LP PPBPS (VERTICAL)
FORCEMAIN SIZE:	2.0-INCH SCH 40 PVC
NO. OF LATERALS:	6 (VARIOUS LENGTHS)
LATERAL SIZE:	1.5-INCH PR 160 PVC
TRENCH BOTTOM:	48" PER DON WELLS, LSS
8 DOSES TO SYSTEM PER DAY	
ORIFICE SIZE:	1/8-INCH @ 3 FT HEAD
TIME PER DOSE:	5.34 MINUTES
PUMP FLOW:	37.44 GPM
TOTAL DOSE VOLUME:	200 GAL/DOSE
VOL. PER PANEL PER DOSE:	1.71 GALLONS OR 47.48% OF PANEL VOLUME

AREA IS AVAILABLE FOR REPAIR AND SHALL REMAIN UNDISTURBED

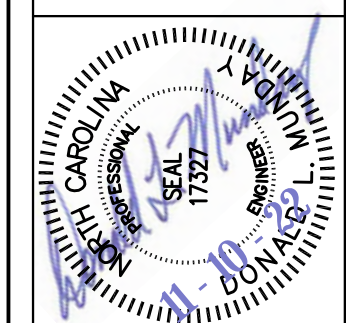
- NOTES:**
- SOILS WORK PROVIDED BY DON WELLS, LSS WITH S&EC.
 - SURVEY INFORMATION BY ISAACS GROUP.
 - PRIOR TO ANY CONSTRUCTION, BARRICADE ALL DISPOSAL AREAS FROM CONSTRUCTION TRAFFIC
 - CLEAR DRAIN FIELD OF ALL DEBRIS, LIMBS, ETC.
 - LIGHTLY HAND SMOOTH ANY IRREGULAR SURFACES. REDO PRIOR TO INSTALLATION OF LATERALS. ENSURE THAT DISPOSAL AREAS ARE CAPABLE OF SHEDDING RAINWATER AND FREE OF ANY LOW AREAS
 - SEED ALL DISPOSAL AREAS.
 - MAINTAIN 8" MINIMUM SEPARATION ON ALL LATERALS
 - OBSERVE ALL SETBACKS.
 - AREA IS AVAILABLE FOR REPAIR AND SHALL REMAIN UNDISTURBED

- REFER TO SPECIFICATION PACKAGE FOR MATERIALS SELECTION AND INSTALLATION REQUIREMENTS
 - REFER TO SHEET U-2 FOR TREATMENT PLAN/PROFILE, INSTALLATION DETAILS & ELEVATIONS
- NOTE:**
 WATER TO THE FACILITY IS SERVED BY A WELL LOCATED MORE THAN 100 FEET FROM THE SYSTEM COMPONENTS.

PIEDMONT DESIGN
 ENGINEERING SURVEYING PLANNING
 Associates, P.A.
 Suite 101 Westfield Center, 125 East Plaza Drive
 Mooreville, NC 28115
 Phone: (704) 664-7888 Fax: (704) 664-7889
 www.pdpape.com
 N.C.B.E.L.S. License #: C-1007

PREPARED FOR:
POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD, SUITE 200
 WEDDINGTON, NC 28104
 704-321-0802

SEPTIC SYSTEM SITE PLAN
POLIVKA INTERNATIONAL
 13700 PROVIDENCE ROAD
 WEDDINGTON, UNION COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 11/02/222
 Scale: 1" = 30 FT
 Drawn: DMD
 Checked: DLM
 Project: 2022-07-21
 Job: 2022-07-21
 Sheet
U-1

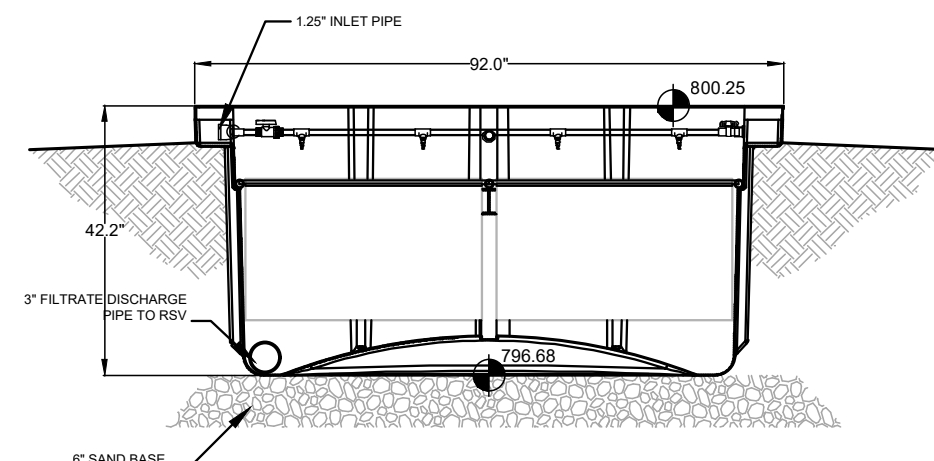
811
 Know what's below.
 Call before you dig.
 GRAPHIC SCALE
 0 15 30 60
 1 inch = 30 feet

* Float Functions & Pump Index

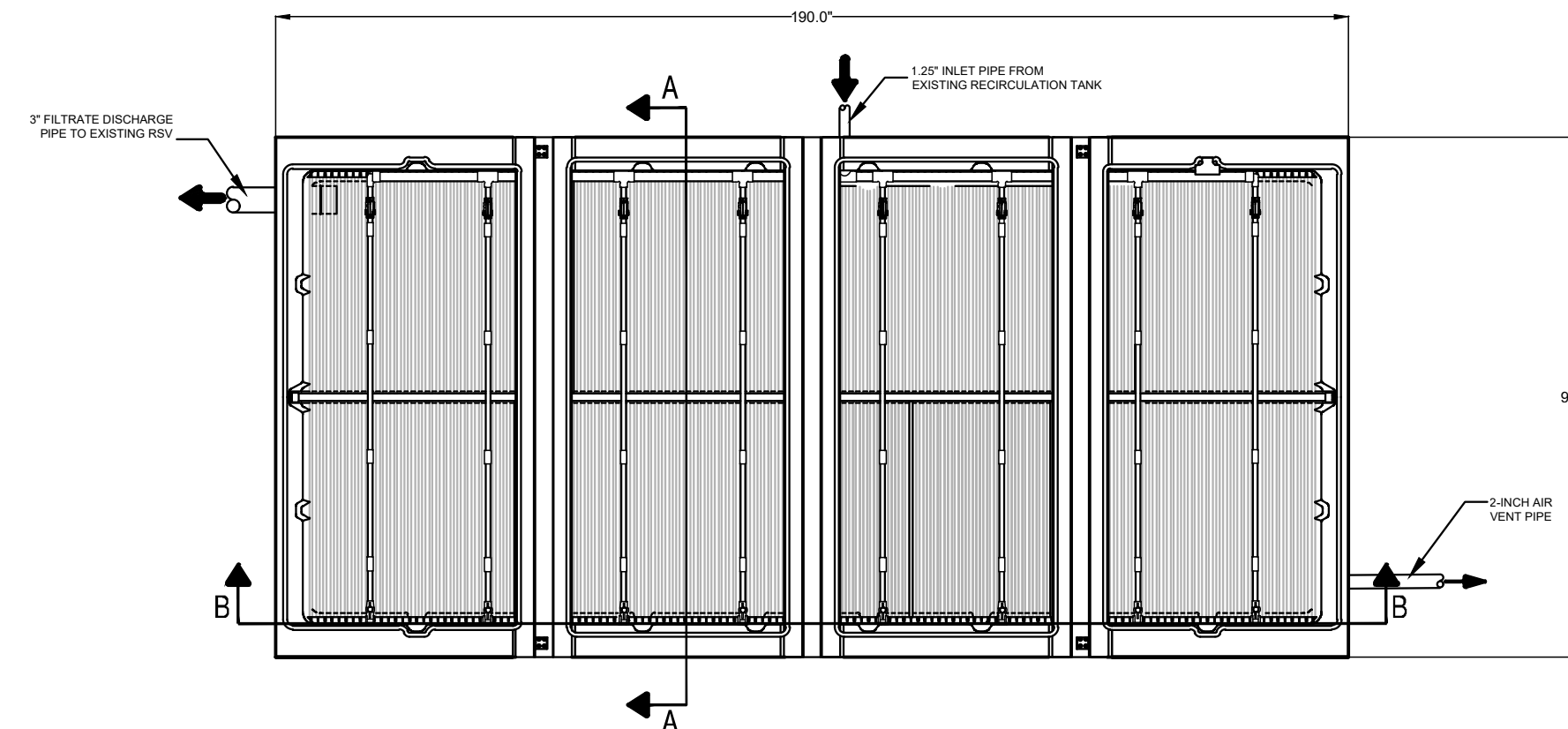
A	High Level Alarm / Lag Enable
B	Override Timer
C	Redundant Off / Low Level Alarm

Recirculation Pump (R1): Orenco PF500T-12
 Final Dosing Pump (D2): Goulds 3885 Model WE0120H
 S.T.E.P. Pump (D3 & S4): Orenco PF100S-12

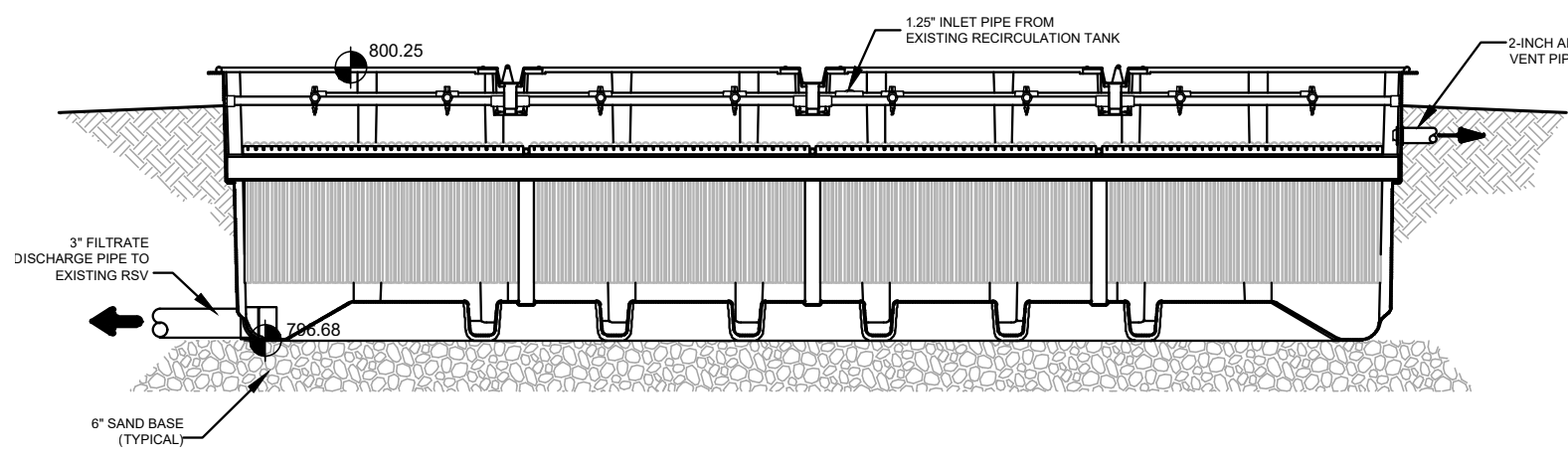
FLOAT SETTINGS
Not to Scale



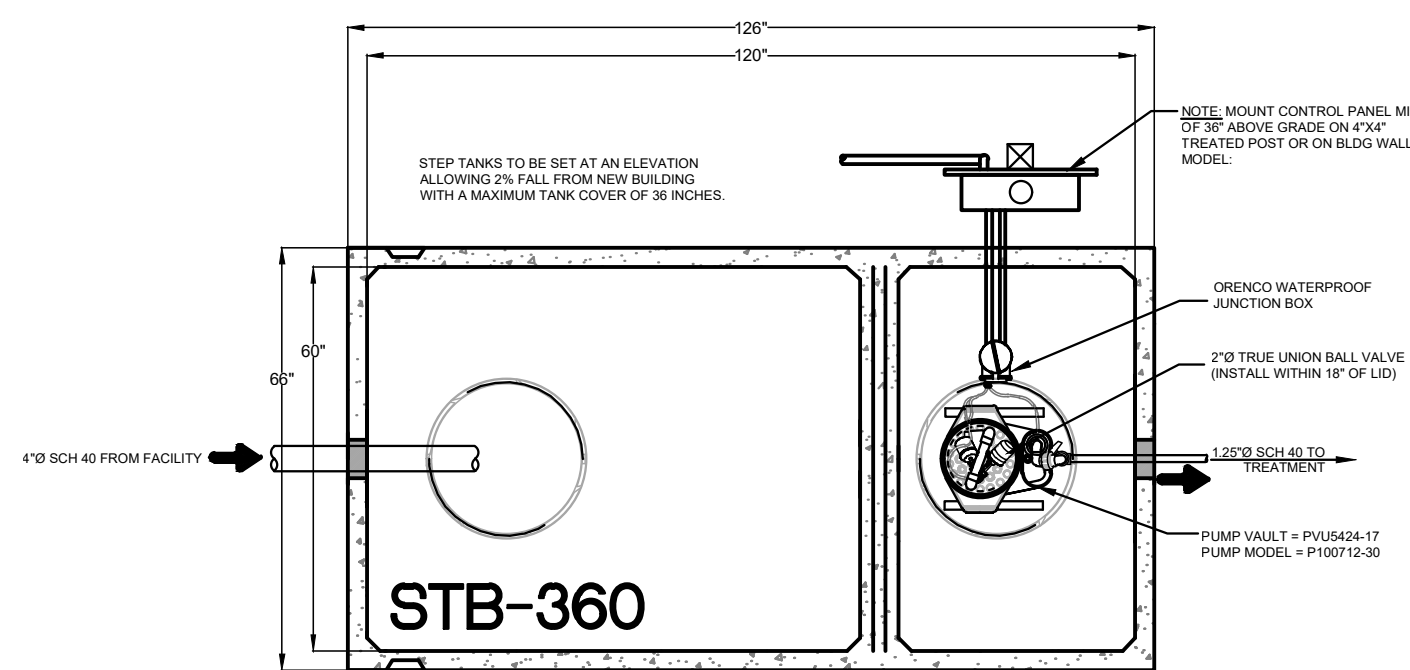
SECTION A-A ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



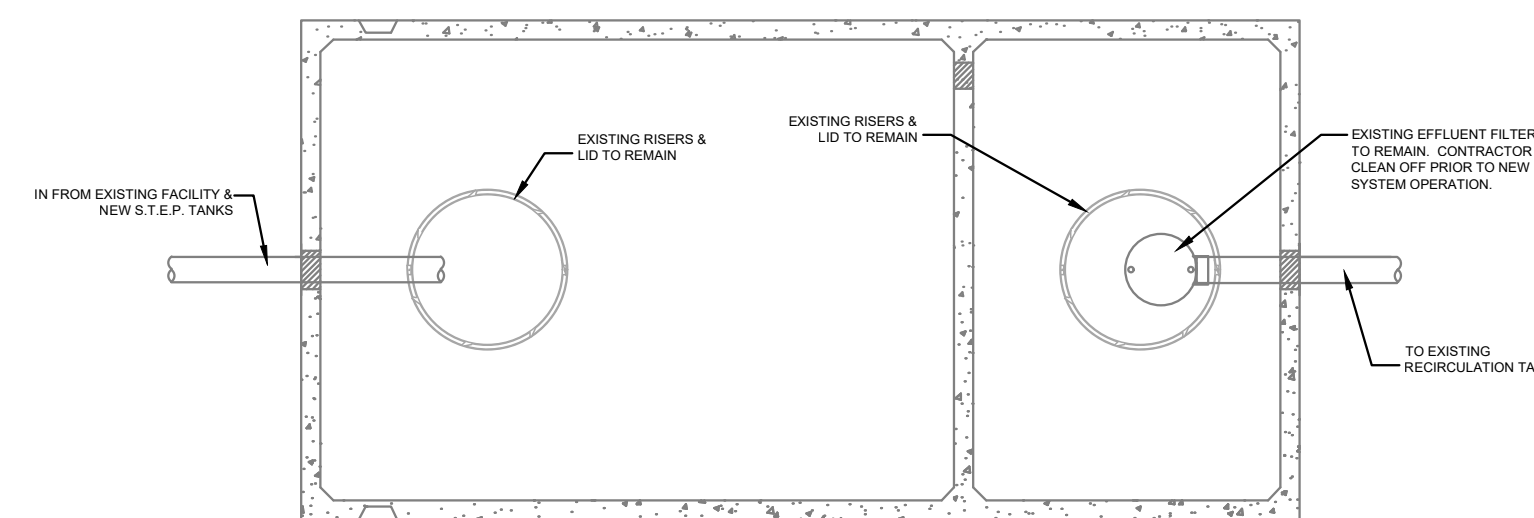
PLAN VIEW-ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



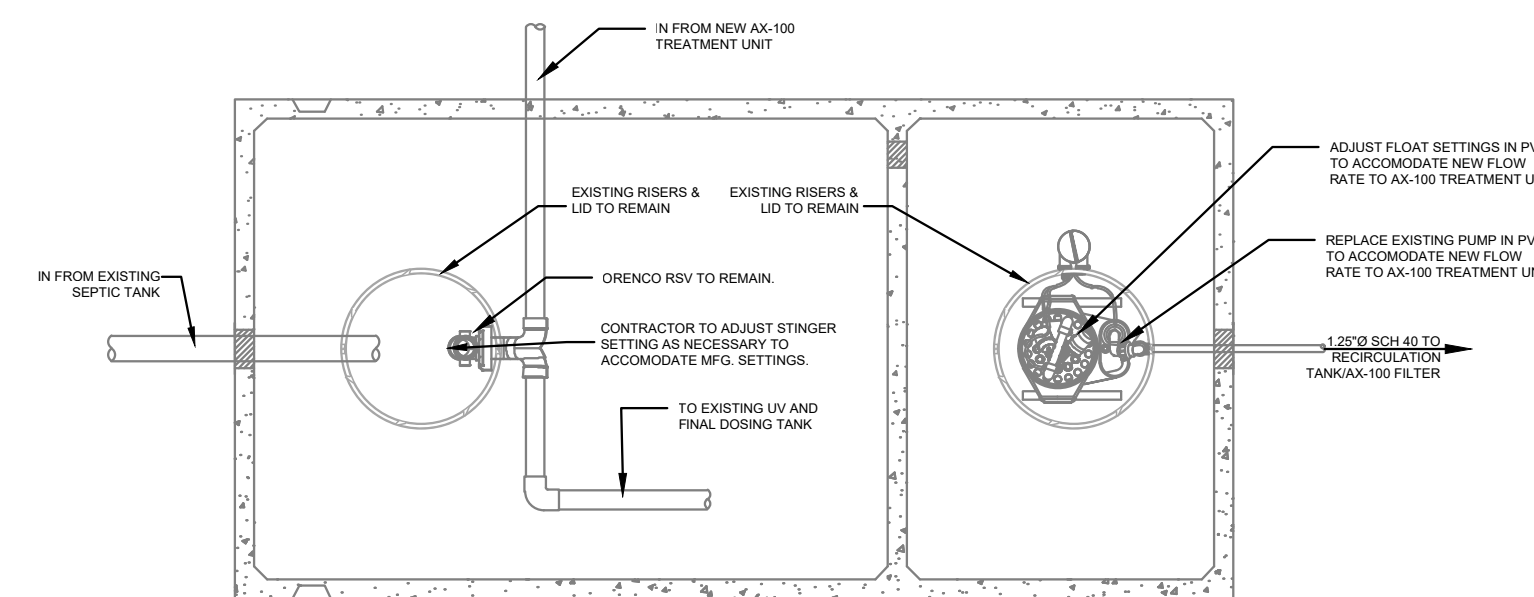
SECTION B-B ORENCO AX-100 TEXTILE FILTER
Not to Scale Orenco AX-100



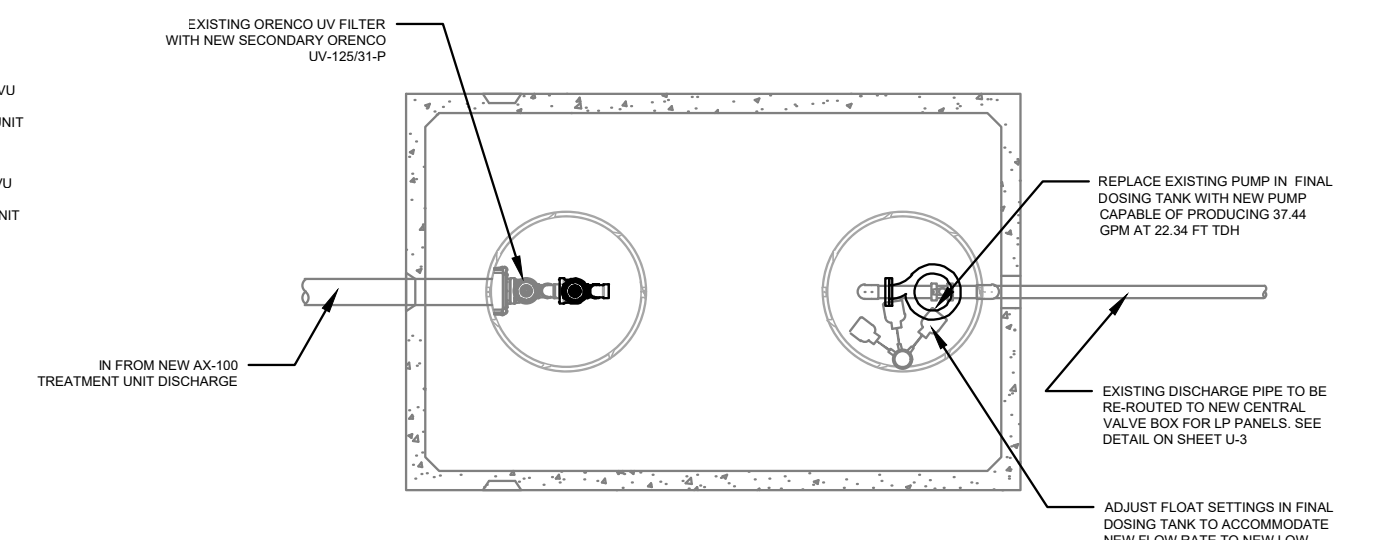
PLAN VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360



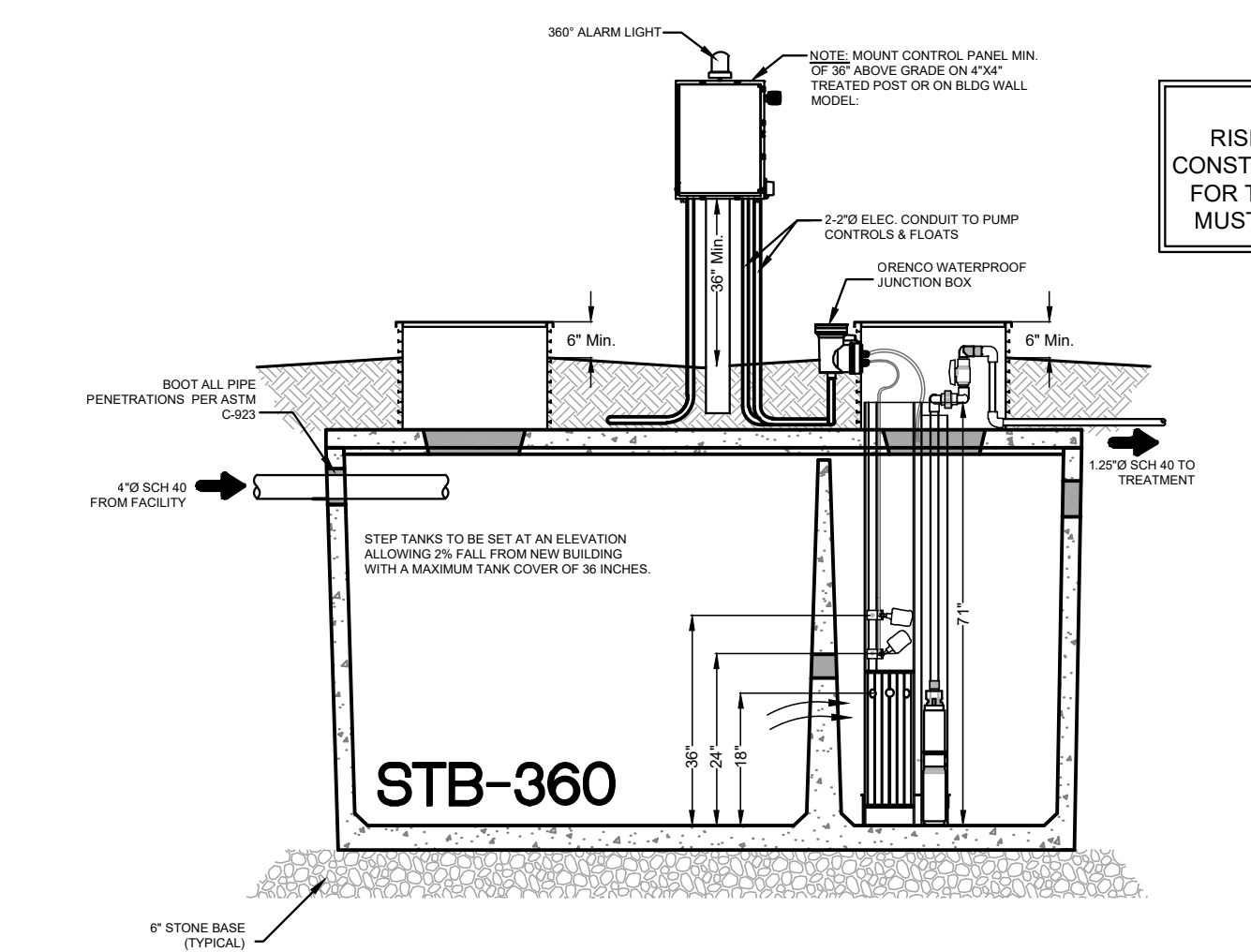
PLAN VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



PLAN VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale

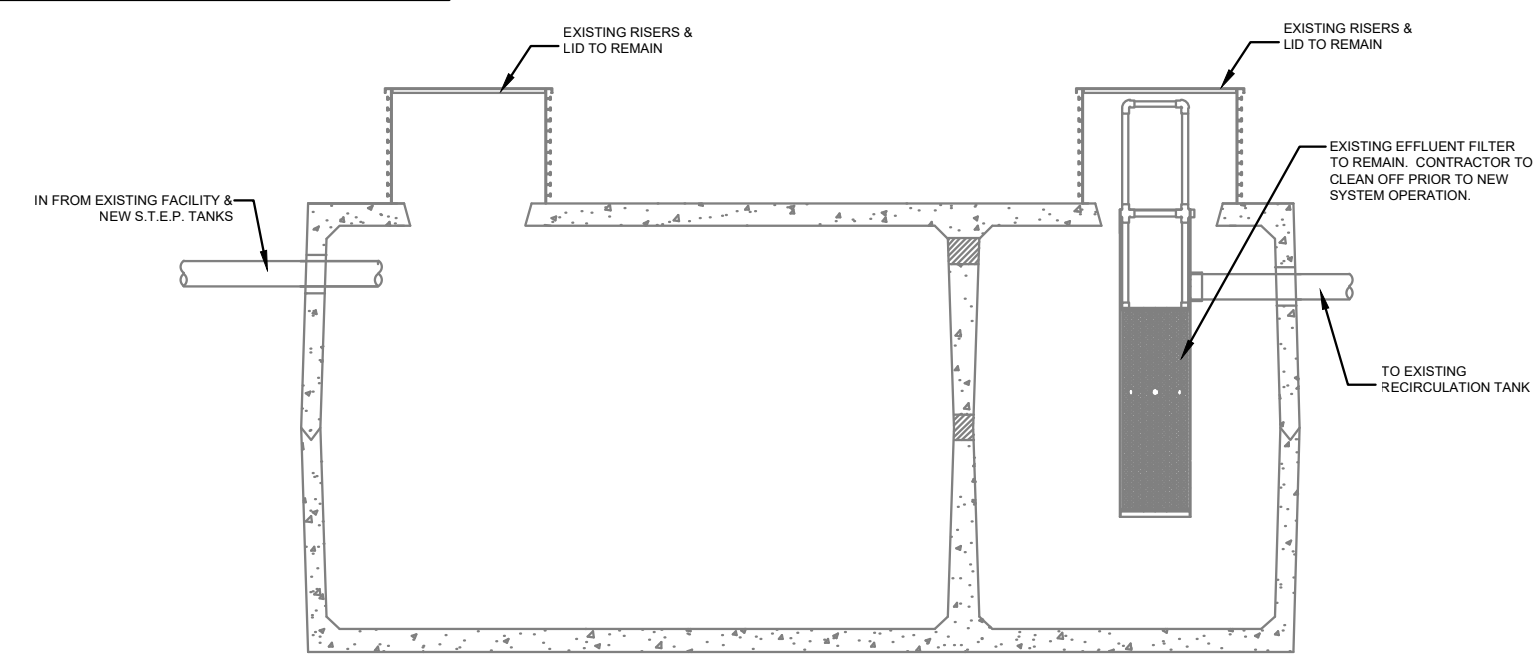


PLAN VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale

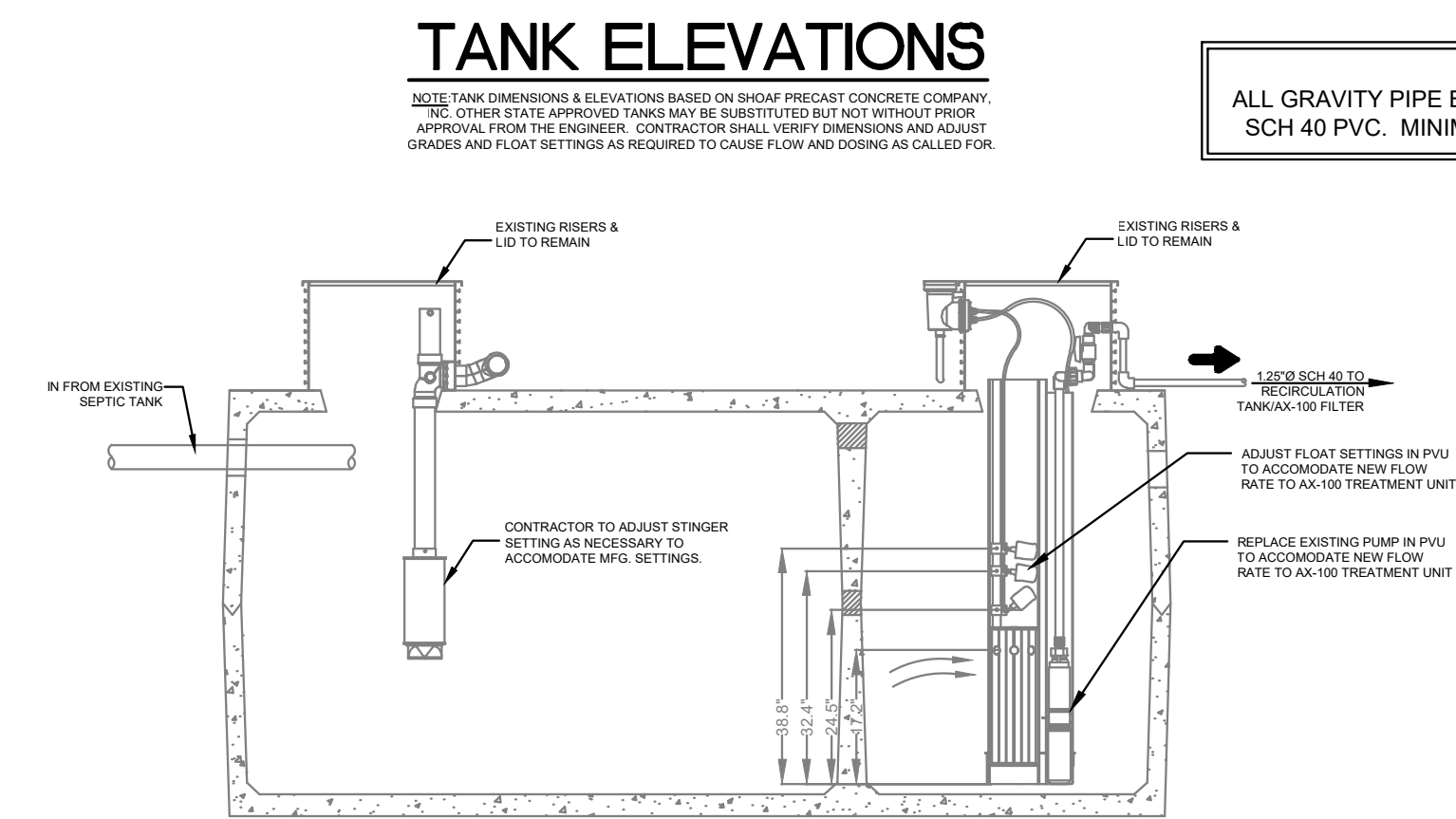


SECTION VIEW - 1,500 GALLON S.T.E.P. TANK
Not to Scale STB - 360

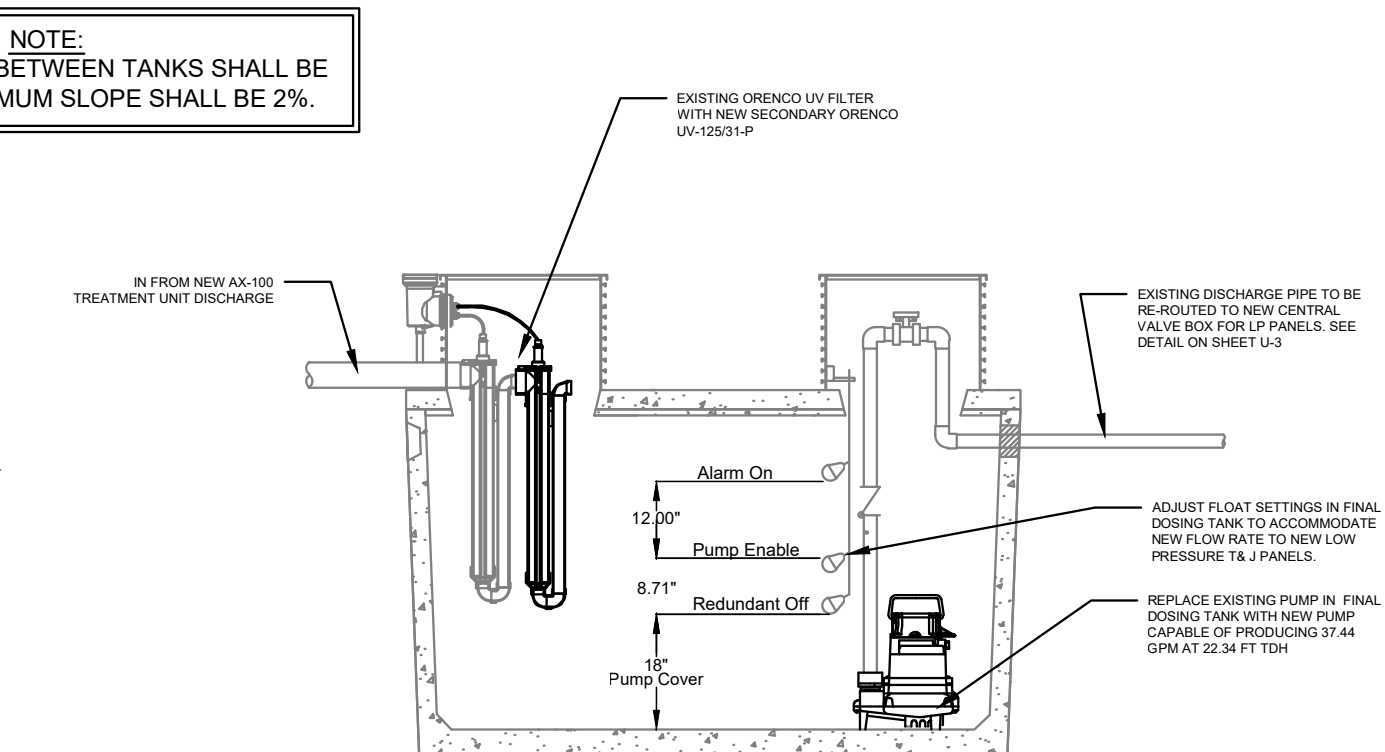
RISER & LID NOTES:
RISERS TO BE CAST IN PLACE AT TIME OF TANK CONSTRUCTION AND MEET THE REQUIRED APPROVAL FOR THE SPECIFIED RISER. ALL TANK ACCESS LIDS MUST HAVE BOLT DOWN OR LOCKING CAPABILITY.



SECTION VIEW-EX. 2,000 GAL. SEPTIC TANK
Not to Scale



SECTION VIEW-EX. 2,000 GAL. RECIRC. TANK
Not to Scale

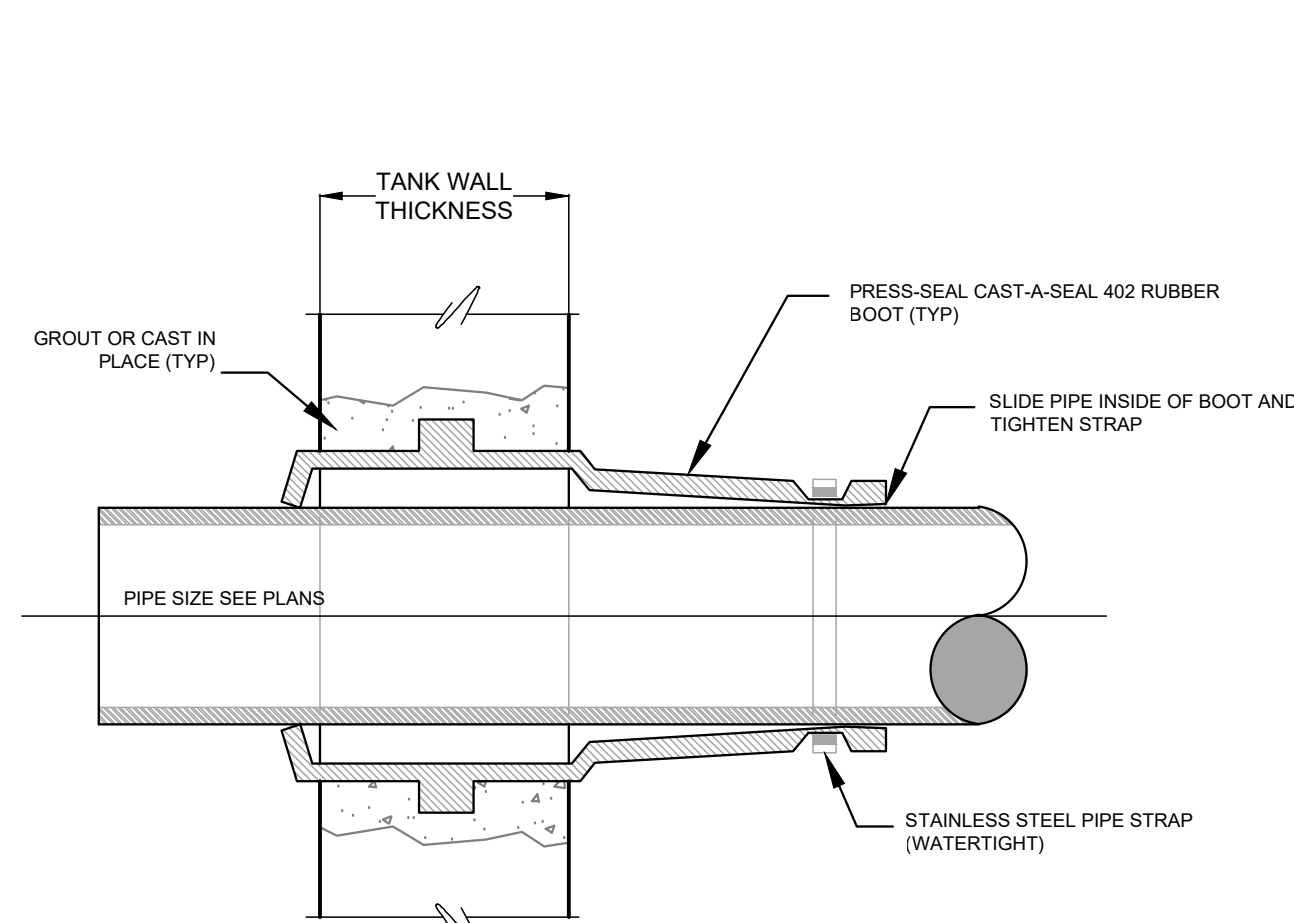


SECTION VIEW-EX. 1,000 GAL. PUMP TANK
Not to Scale



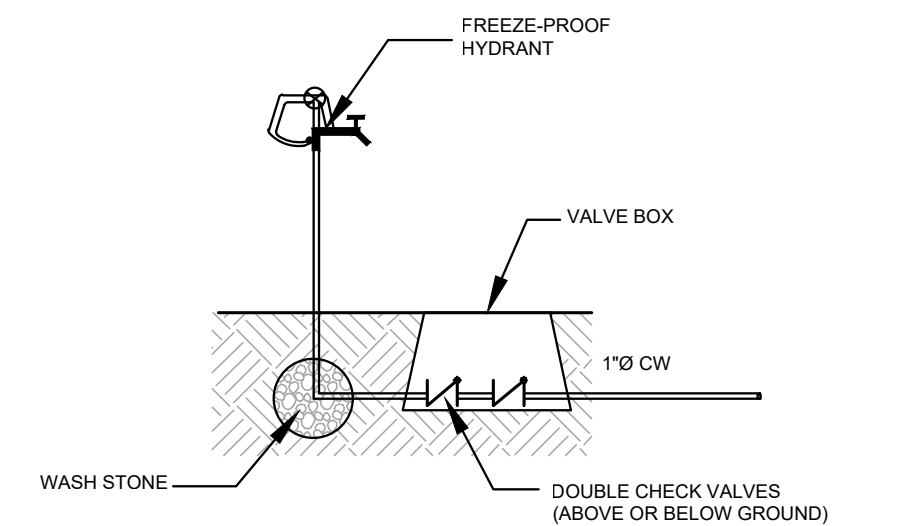
REVISIONS	BY

Date: 9/11/02/222
 Scale: AS SHOWN
 Drawn: DMD
 Checked: DLM
 Project: 2022-07-21
 Job: 2022-07-21
 Sheet: U-2



PIPE PENETRATION DETAIL

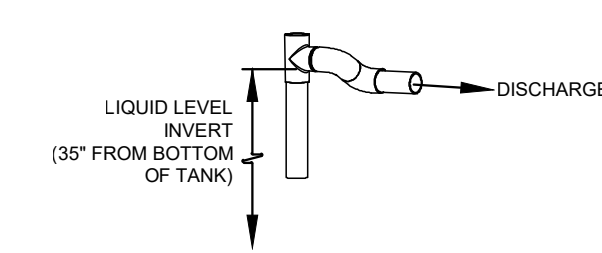
Not to Scale



YARD HYDRANT DETAIL

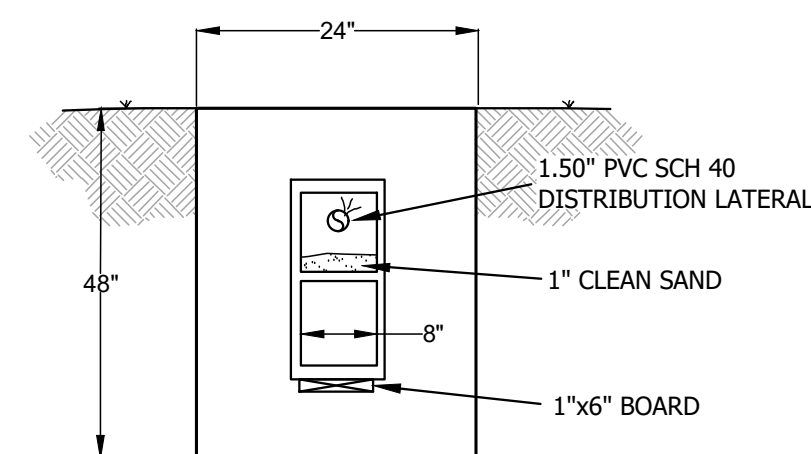
Not to Scale

Locate Greater Than 10 Feet From System Components



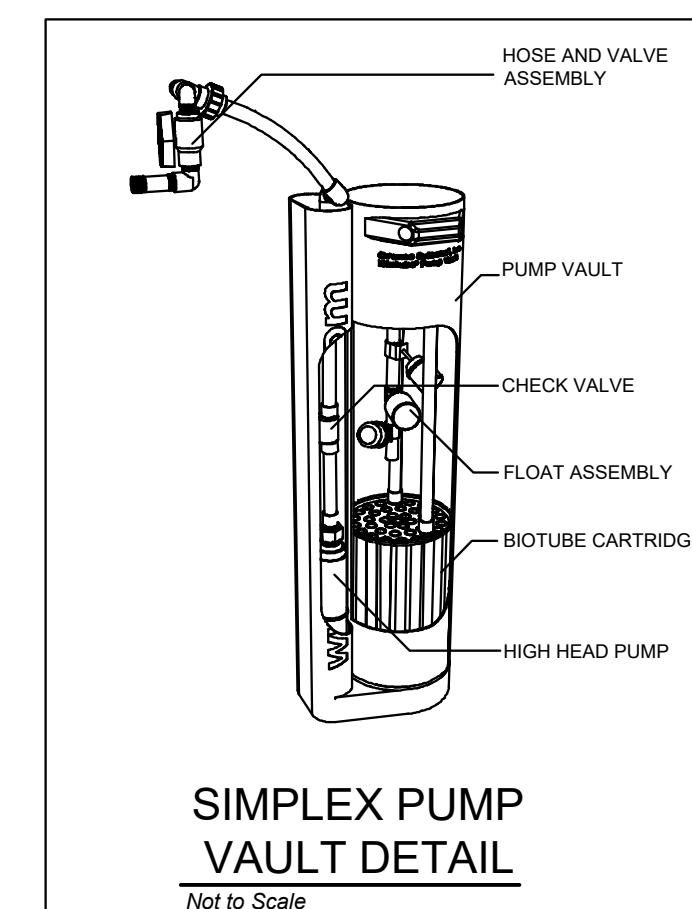
DISCHARGE DETAIL

Not to Scale



CUTAWAY OF PRESSURE PANEL

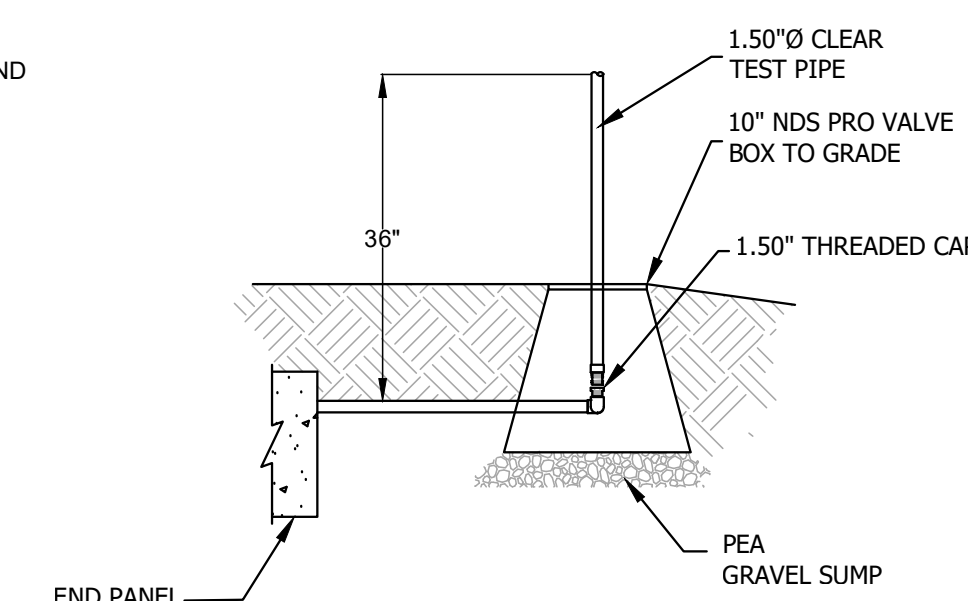
N.T.S.



SIMPLEX PUMP VAULT DETAIL

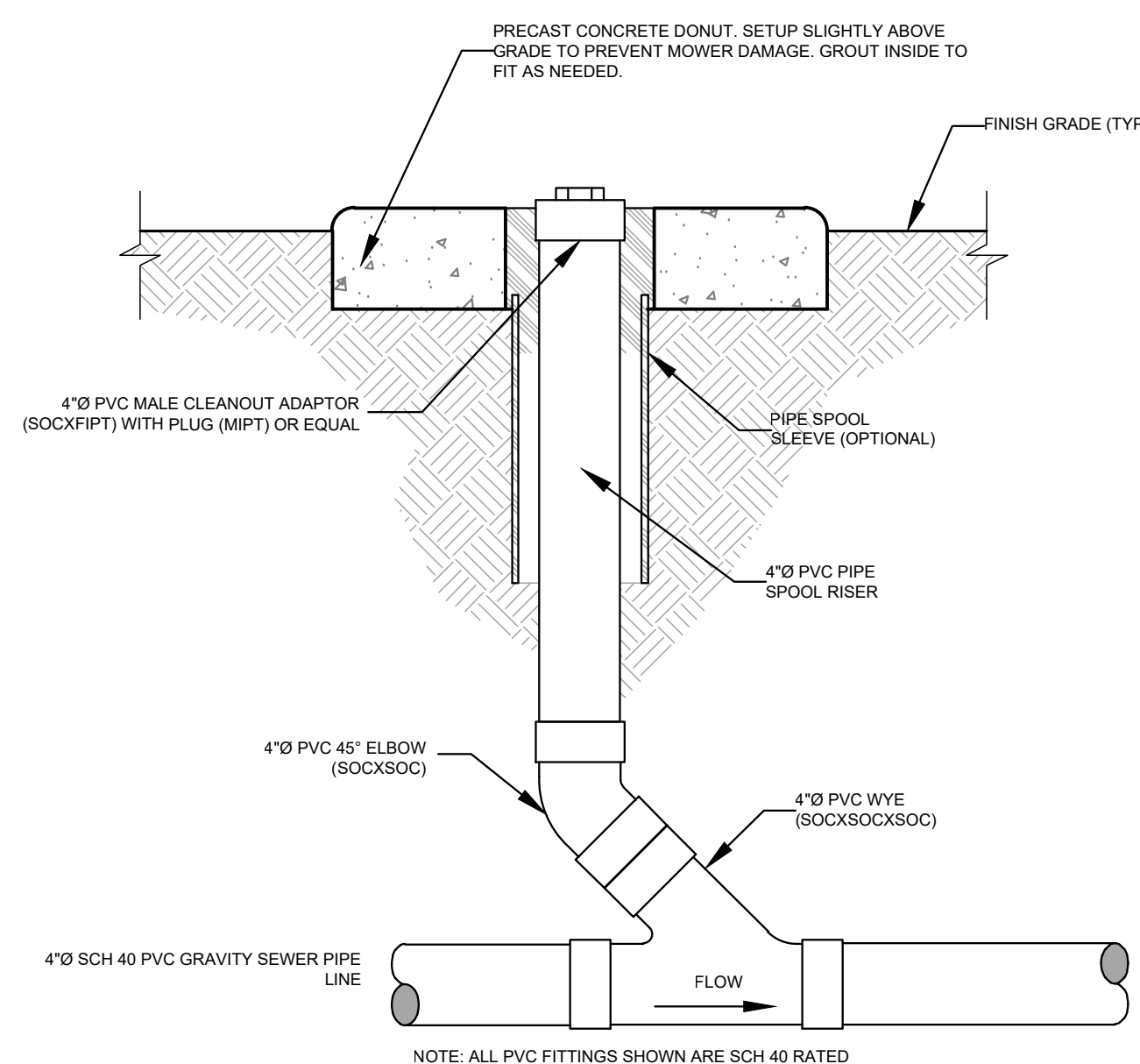
Not to Scale

NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



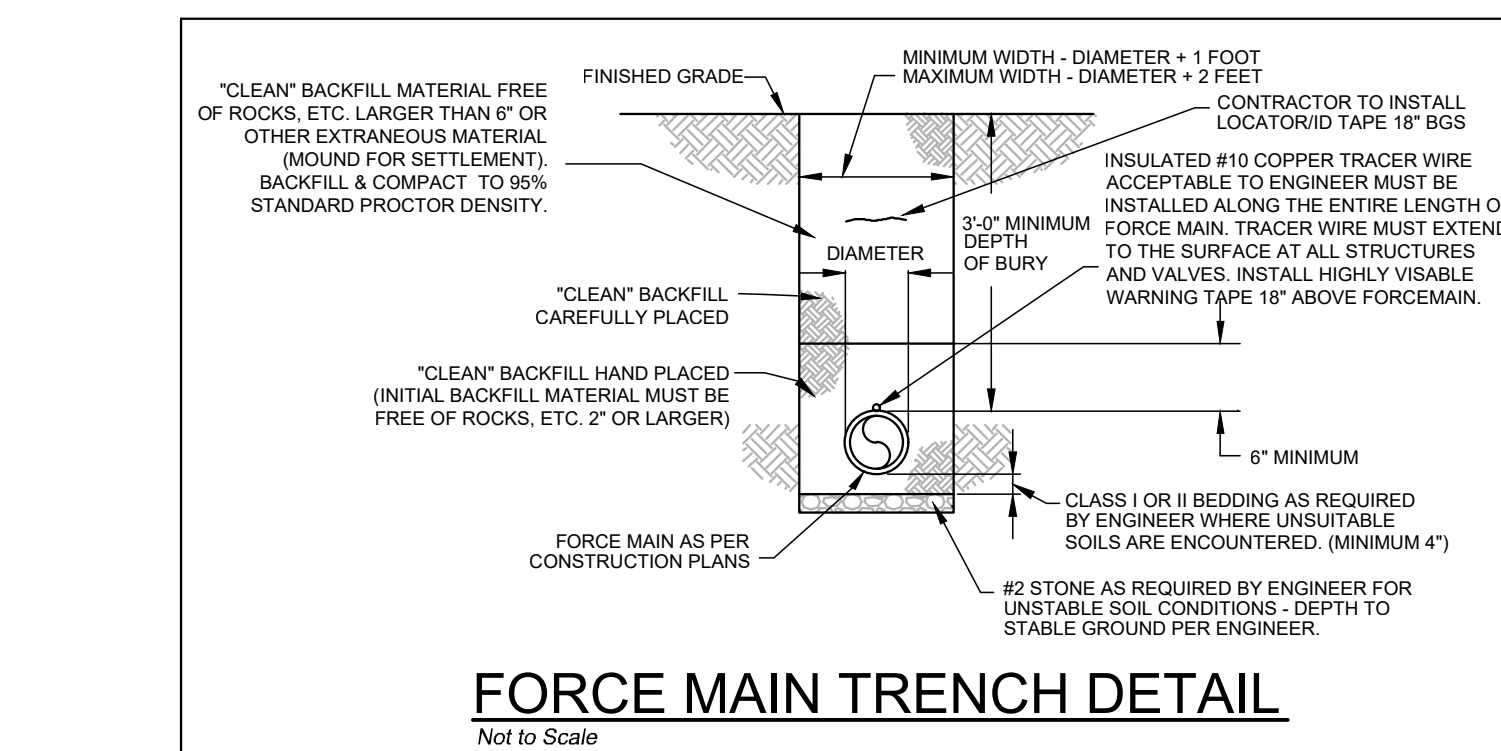
TURN UP DETAIL

N.T.S.



CLEANOUT DETAIL

Not to Scale

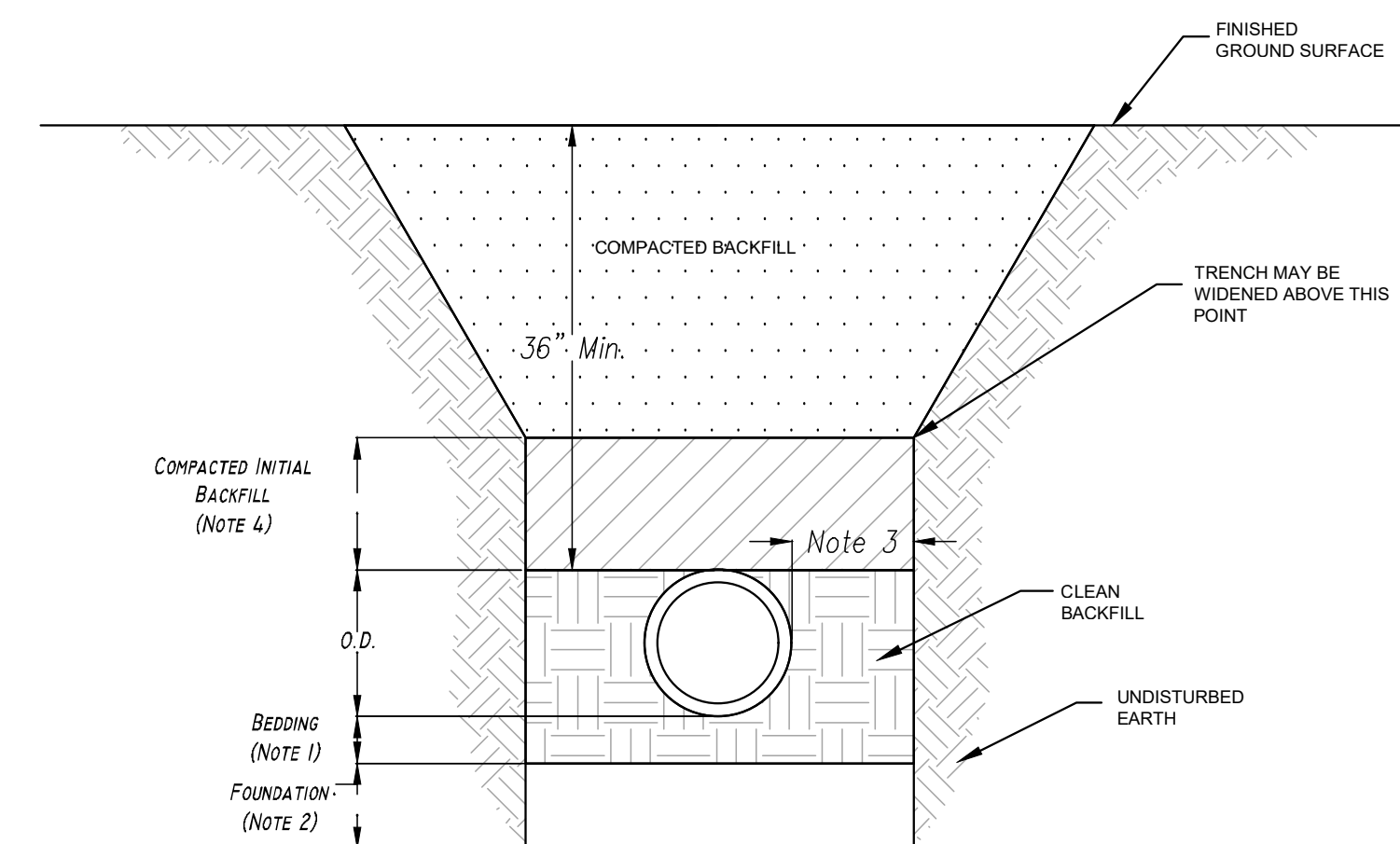


FORCE MAIN TRENCH DETAIL

Not to Scale

TRENCH NOTES:

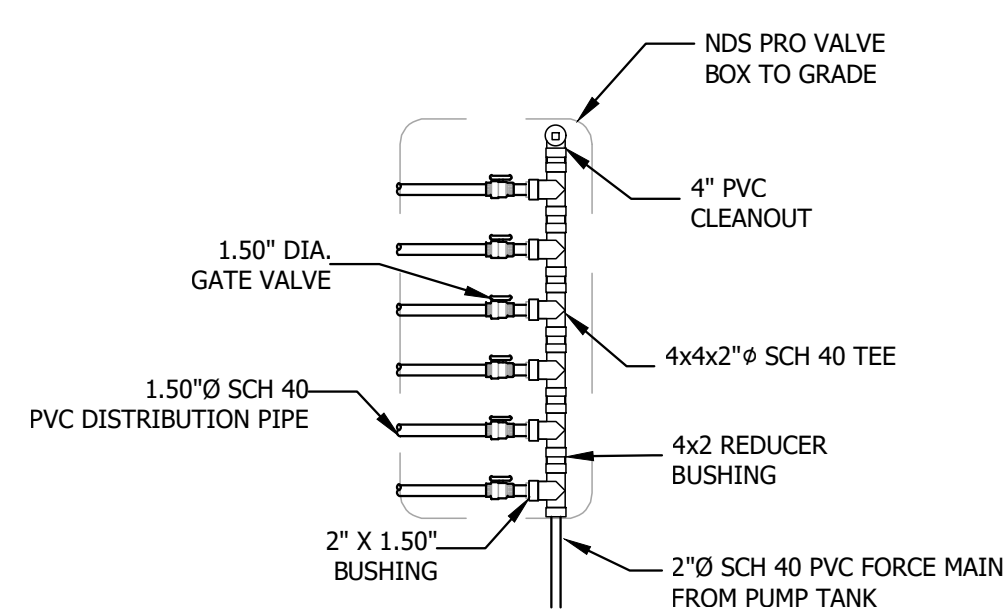
1. 4" TYPICAL, 5' DEPTH IF IN ROCK
2. FOUNDATION STONE REQUIRED WHEN SOIL CONDITIONS ARE UNSTABLE
3. CLEAR DISTANCE NOT LESS THAN 6' OR MORE THAN 12" ON EITHER SIDE
4. INITIAL BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED. INITIAL BACKFILL SHALL CONTAIN NO BACKFILL OVER 1.5" FROZEN LUMPS OR DEBRIS.
5. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY
6. PVC PIPE SHALL BE SCH 40 PVC
7. DETAIL SHALL BE USED FOR ALL TRANSPORT PIPING TO AND FROM DISPOSAL AREA
8. SEE DETAIL FOR DUCTILE SLEEVE UNDER STREAM ON PLAN SHEET U-3



PVC SEWER PIPE BEDDING DETAIL

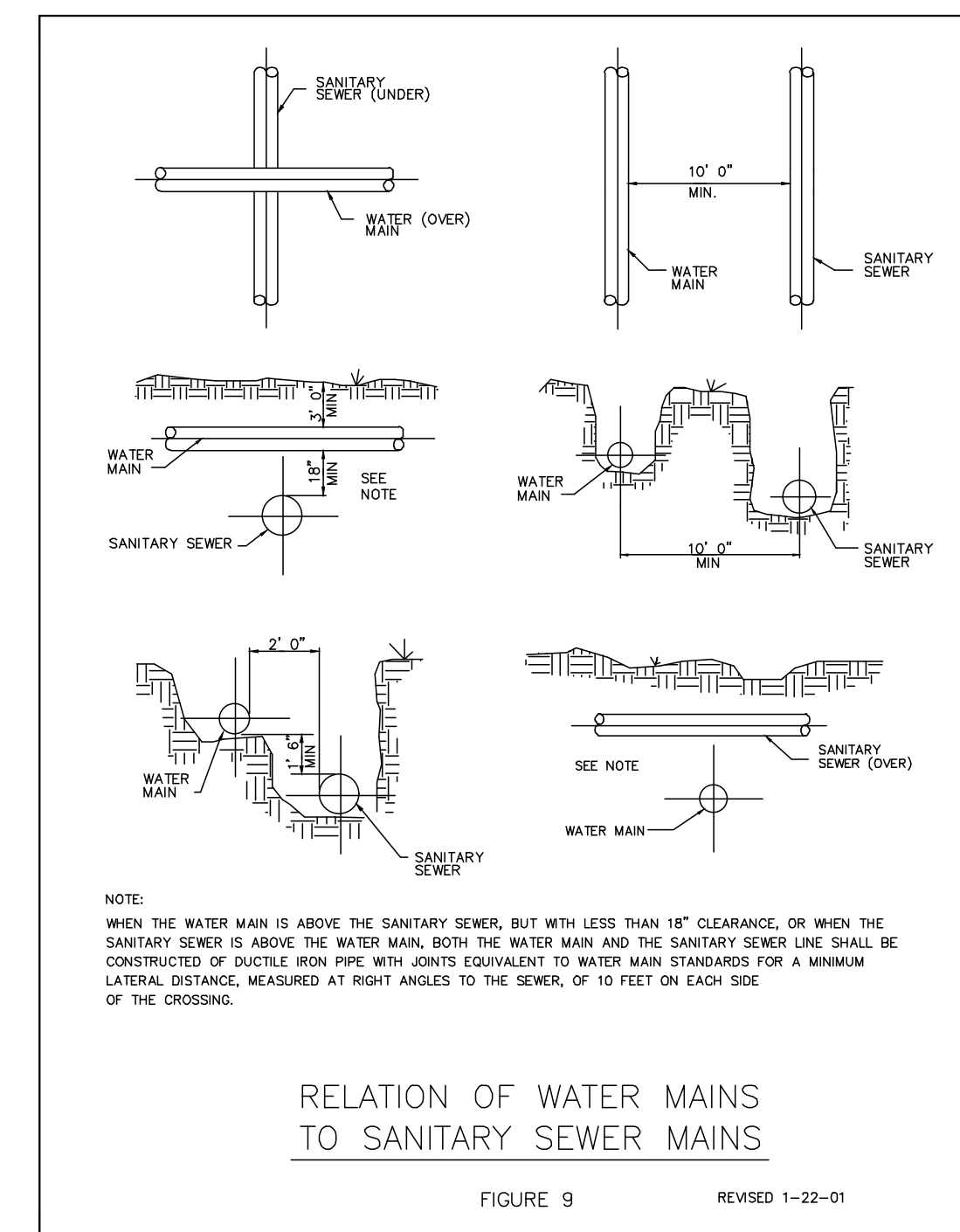
Not to Scale

NOTE: ALL VALVE BOX ACCESS RISERS TO BE EASILY ACCESSIBLE AND CLEARLY VISIBLE FROM FINISHED GRADE



VALVE BOX DETAIL

N.T.S.



RELATION OF WATER MAINS TO SANITARY SEWER MAINS

FIGURE 9 REVISED 1-22-01

GENERAL NOTES:

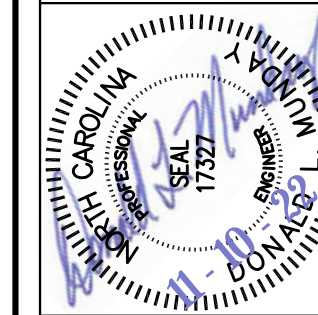
1. NOTIFY UNDERGROUND UTILITIES LOCATOR PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND SUBCONTRACTORS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS, ELEVATIONS, AND LOCATION OF ALL EXISTING CONDITIONS AND UTILITIES.
2. ALL PIPING SHALL BE SCH 40 PVC UNLESS OTHERWISE NOTED ON PLANS. ALL PVC PIPES SHALL BE BURIED A MINIMUM OF 3 FEET UNLESS SHOWN OTHERWISE.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
4. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA, NCDOT, AND OTHER RELATED SAFETY REQUIREMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL CONSTRUCTION DAMAGE EXPEDITIOUSLY AND AT NO ADDITIONAL COST TO THE OWNER.
6. SEPTIC TANKS SHALL BE CONSTRUCTED WITH A BAFFLE WALL DIVIDING THE TANK INTERIOR 2/3rd TO 1/3rd. THE BAFFLE WALL SHALL BE CONSTRUCTED TO PERMIT PASSAGE OF EFFLUENT THROUGH A SLOT OR HOLES LOCATED BETWEEN 45 & 55 PERCENT OF THE INTERIOR DEPTH.
7. ALL TANKS SHALL HAVE A MINIMUM 28-DAY CONCRETE STRENGTH OF 4,500 PSI.
8. TANKS SHALL MEET REINFORCING REQUIREMENTS TO ACCOMMODATE 3,000 POUNDS PER SQ. FT. EITHER STEEL REINFORCING WIRE, REBAR OR APPROVED FIBER MAY BE USED.
9. ALL SERVICE ACCESS OPENINGS WILL BE A MINIMUM OF 24 INCHES.
10. ALL TANKS AND EFFLUENT FILTERS SHALL BE APPROVED BY ENGINEER. EFFLUENT FILTERS SHALL BE SIZED FOR DESIGN FLOW AND EXTEND DOWN TO 50-PERCENT OF LIQUID LEVEL.
11. ALL JOINTS (MID-SEAM, TOP-SEAM) SHALL BE SEALED USING CONCRETE SEALANTS BUTYL SEALANT # CS-102 MEETING ASTM C-990.
12. TANKS SHALL BE LEAK-TESTED PRIOR TO SYSTEM START UP BY APPLYING A VACUUM OF 5-INCHES OF MERCURY WITH RISER ASSEMBLIES IN PLACE OR WITH APPROVAL BY ENGINEER. A 24-HOUR STATIC WATER TEST IN ACCORDANCE WITH ASTM STANDARDS.
13. ALL PIPE PENETRATIONS THROUGH PRECAST CONCRETE TANKS SHALL BE PRESS-SEAL CAST-A-SEAL 402 RUBBER BOOTS AND GROUTED.
14. ALL TANK RISERS AND LIDS SHALL BE A MINIMUM OF 6" ABOVE THE FINISHED GRADE.
15. ALL METAL INSTALLED IN TANKS SHALL BE STAINLESS STEEL.
16. ALL MANHOLES NOT INSTALLED NOT IN TRAFFIC AREAS SHALL HAVE BOLT DOWN LIDS. LIDS SHALL BE 6" MINIMUM ABOVE FINISHED GRADE.
17. CONTROL PANELS SHALL BE INSTALLED A MINIMUM OF 36 INCHES FROM FINISHED GRADE TO BOTTOM OF PANEL BOX. SEAL OFF ALL CONDUITS BETWEEN TANKS AND PANEL.

PANEL MOUNTING RISER

Not to Scale

CONTROL PANEL DETAIL

Not to Scale



REVISIONS	BY

Date: 11/02/22
AS
Scale: SHOWN
Drawn: DMD
Checked: DLJ
Project: 2022-07-21
Job: 2022-07-21
Sheet
U-3



TO: Planning Board
FROM: Gregory Gordos, AICP, Town Planner
DATE: September 23, 2024
SUBJECT: Application by Keystone Custom Builders. requesting Conditional Zoning approval for the development of a 12-lot conventional subdivision located on Deal Road.

APPLICATION INFORMATION:

SUBMITTAL DATE: July 17, 2024
APPLICANT: Marc Momsen, V3 Southeast
PROPERTY LOCATION: 0 DEAL ROAD
PARCEL ID#: 06099010
ACREAGE: +/- 17.30 acres
EXISTING LAND USE: Vacant
EXISTING ZONING: Residential-Conservation District (R-CD)

PROPOSAL:

The applicant is proposing the development of an 12-lot conventional development subdivision tentatively known as Elysian at Weddington. The subdivision contains a single entrance on Deal Road with a 50' buffer (per UDO) along the thoroughfare. Existing homes along Deal Road can be found to the north and east. Weddington Middle School is directly south of the property (no pedestrian connection). A small detention point is located within the 10% required open space between school and project site.

Development Standards.

The development proposal does not include any changes to the Development Standards already set forth in the Unified Development Ordinance (UDO). The development shall be governed by this Plan and all applicable requirements of the UDO.

RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:

UDO Section D-607(C), Conditional Rezoning.

As required by UDO Section D-607(C)(5), the applicant held their required Community Meeting outdoors on the school complex grounds on Wednesday, July 24th, 2024, at 6:00 pm. The applicant has provided a Community Meeting Report which has been attached to this staff report and posted on the Town's website.

The Town Council is tentatively scheduled to hold a public hearing regarding this application on Monday, October 14, 2024, at 7:00 pm. The Conditional Zoning process allows the developer and the town to ask for conditions which could include special exceptions to rules or additional improvements. The town and the developer must agree on a condition for it to become a part of an approval.

UDO Section D-703(D), Permitted Uses (by zoning district).

Pursuant to Table 1, Permitted Uses, as contained within UDO Section D-703(D), Traditional Residential Development (> 6 Lots) is specifically listed as a permissible use within the R-CD, subject to Conditional Zoning approval.

UDO Section D-703(E), Lot and Building Standards Table.

Pursuant to Table 2, Lot and Building Standards, as contained within UDO Section D-703(E), all development within the R-CD is required to meet certain standards. The following table identifies those standards, as well as how the subject development proposal complies:

Lot and Building Standards		Standard	Proposed
Minimum Lot Size		40,000 sq. ft.	40,055 – 54,717 sq. ft.
Minimum Lot Width		120'	120' (min)
Minimum Setbacks	Front	50'	50'
	Side	15'	15'
	Rear	40'	40'
Maximum Height		35'	35'
Maximum Floor Area Ratio		N/A	N/A

UDO Section D-917A, Specific Requirements for All Residential Development.

UDO Section D-917A, establishes numerous rules for how residential development is intended to occur within the Town. These rules include, but are not limited to, the location of house sites, easements, the requirement of lots to abut public roads, street design and layout, cul-de-sacs, open space, buffering, and tree requirements. While not all these rules are appropriate to be included at this stage of the development process, there are many that must be considered.

UDO Section D-917A(A) Side lot lines shall be substantially at right angles or radial to street lines, and double frontage lots are to be avoided wherever possible.

The majority of lots are rectangular facing Celestial Way with three wedge-shaped lots on the cul-de-sac. Positive findings of compliance can be made.

- UDO Section D-917(F)(1) All subdivision lots shall abut public roads.*
All lots abut a proposed public road to be maintained by NCDOT and exit onto Deal Road. As such, positive findings of compliance can be made.
- UDO Section D-917(J)(1) Permanent dead-end streets shall not provide sole access to more than 16 dwelling units or 1,200 linear feet, whichever is less.*
One proposed cul-de-sac will provide access to 12 lots and does not exceed 1200 linear feet. Positive findings of compliance can be made.
- UDO Section D-917(J)(2) When cul-de-sacs end in the vicinity of an adjacent undeveloped property capable of being developed in the future, a right-of-way or easement shall be shown on the final plan to enable the street to be extended when the adjoining property is developed.*
All adjacent properties are developed, including the school campus.
- UDO Section D-917(K)(2) The proposed street layout shall be coordinated with the street system of the surrounding area. Where possible, existing principal streets shall be extended. Street connections shall be designed so as to minimize the number of new cul-de-sacs and to facilitate easy access to and from homes in different part of the tract (and on adjoining parcels).*
Unfortunately no extensions or street connections would be added and an additional cul-de-sac would be added to the network. However, only 12 homes are proposed and thus only one point of ingress-egress is required.
- UDO Section D-917(K)(5) Two points of ingress and egress onto an adjoining public road from subdivision containing more than 15 lots is required.*
N/A. Only 12 lots proposed. Positive findings of compliance can be made.
- UDO Section D-917(K)(6) Developable lots shall be accessed from interior streets, rather than from roads bordering the tract.*
All lots are accessed from the interior street. No driveways on Deal Road.
- UDO Section D-917(O)(1)(b) Where the side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required. The buffer width may be reduced to 50 feet if plantings are installed to include year-round screening.*
The development proposal includes the provision of a 50-foot thoroughfare buffer. Sheet SK-105 details the year-round screening including plantings. Existing trees to remain and be protected indicated on sheet. 100 feet wide of existing woodland not provided.
- UDO Section D-917(P) Any major subdivision shall be required to provide that a minimum of ten percent of the gross area of the subdivision, exclusive of any required minimum buffers along thoroughfares, consists of common open space.*
The sketch plan states that 10% OF GROSS AREA TO BE COMMON OPEN SPACE. This includes a 50' buffer between the school one

stormwater pond accessed by a 20' access easement between Lots 2 and 3. Findings of compliance can be made.

UDO Section D-917D, Supplemental Requirements for Certain Uses.

UDO Section D-917D, establishes supplements requirements for certain uses; however, not for all uses that are specifically listed in the UDO, including traditional residential development. As such, this Section is not applicable.

UDO Section D-918, General Requirements.

The various provisions set forth in UDO Section D-918, including, but not limited to visibility at intersections, lighting, screening, and landscaping, fences and walls, signs, and off-street parking and loading, as applicable, shall be reviewed for compliance with the submittal of plans for a Construction Permit. It is noted, however, that there do not appear to be any immediate concerns regarding compliance with these provisions.

UDO Appendix 5, Architectural Standards.

It is noted that many of the basic building design standards established in Appendix 5 are intended more for the engagement of pedestrians with retail storefronts and are not applicable to this residential proposal.

RELATION TO THE CODE OF ORDINANCES:

Appendix C, Traffic Impact Analysis.

Pursuant to Sec. II (A) (1), a Traffic Impact Analysis (TIA) is required for any CZ which is expected to create 50 or more peak hour vehicle trips or 500 or more daily vehicle trips. The proposal would add 12 single-family homes to Weddington. Even if each home had three vehicles operating at peak hours, it would not meet the threshold to require a traffic impact analysis. None provided or required.

LAND USE PLAN CONSISTENCY:

NOTE: On June 3rd 2024 the Weddington Town Council adopted the new Comprehensive Land Use Plan, which established new goals and policies from those previously used by the Planning Board. This project is the third to submit under these new guiding principles.

Land Use Goals:

Goal 1: New development and redevelopment activities shall be consistent with the Future Land Use Map and categories.

Policy LU 1.1: The following Future Land Use categories, along with their intended uses, densities, and intensities, are hereby established (floor area ratio (FAR) only applies to non-residential uses): a. Agriculture: This category is intended to accommodate very low density residential development to retain rural character and agricultural activity. Maximum density: 1 dwelling unit per 1.5 acres.

The subject property is identified as *Traditional Residential* in the 2024 Future Land Use Map (Map 4). Traditional Residential allows for low density residential developments and applies to areas where most of the lots and parcels are less than six acres in area. Primarily, parcels

with this designation have one dwelling unit per acre. 12 lots are proposed over 17 acres: a density of less than one unit per acre for this proposal.

Transportation Goals:

Goal 1: Encourage the development of well-designed streets that are safe, connected, and welcoming for all users.

Policy: T 1.1: Major thoroughfares and key entryways shall be given the highest priority for beautification efforts and corridor design.

Deal Road is a connector road between Twelve Mile Creek Road and Weddington Road (NC-84) and provides secondary access (the main entrance is on Twelve Mile Creek) to Weddington Middle School. This route is used by commuters as well as schoolchildren. Adequate visual screening throughout the year is a key consideration in this conditional zoning case.

Policy: T 1.3: Encourage roads be designed and constructed to provide a high level of safety and comfort for all users (pedestrians, bicyclists and motorists), in a manner consistent with the character of the neighborhood through which the road travels.

Sidewalks are NOT provided for either the subdivision nor along Deal Road/to the school.

Housing Goals:

Goal 2: Maintain the Town's strong single-family residential character.

Policy: H 1.1: Retain the residential character of the community by ensuring that new residential development consists of single-family homes with a maximum density of one (1) dwelling unit per 40,000 sq feet.

Low-density housing is proposed under 1 unit/ac. All lots are over 40,000 sq. feet as submitted.

Conservation Goals:

Goal 1: Ensure that all new development takes place in a manner that conserves open space and scenic views.

Policy: C 1.1: Preserve open space and scenic views through zoning regulations that require open space preservation in both conventional and conservation subdivisions, as well as commercial developments.

Open Space in the development is limited to buffers around the adjacent homes and school as well as the detention/retention pond. Open space is not a useable amenity but tree screening.

Infrastructure Goals:

Goal 1: Ensure that all existing and future developments in Weddington are served by adequate water, wastewater, drainage and emergency services.

Policy: I 1.1: Require water, wastewater, and drainage system improvements to be constructed concurrent with new development and that they provide adequate capacity to meet demands from existing and new users.

One stormwater pond is proposed for stormwater runoff, which must be designed to meet 100-year stormwater events per the Town of Weddington UDO. Union County Water serves the site. Wastewater would be served by private septic system fields (see Sheet SK-103).

Based upon the above, staff provides the following Land Use Plan Consistency Statement for consideration:

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development. In addition, while there may also be Goals and Policies for which there may be reason for concern, positive findings can nonetheless be made in support of this development proposal.

RECOMMENDATION:

It is the recommendation of staff that the request for Conditional Zoning to allow for the development of an 12-lot Conventional subdivision known as Elysian at Weddington, generally located on Deal Road, be recommended for **approval**.

ATTACHMENTS:

Application
Sketch Plan
Buffer Exhibit
Land Use Map
Zoning Map
Community Meeting Report

TOWN OF WEDDINGTON

Conditional Zoning Application

This application is required for all conditional zoning applications. Completed applications along with all associated submittal requirements, must be submitted via the Town's [Self-Service Permitting Portal](#).

No application shall be considered complete unless accompanied by the application fee in the amount of \$1,650.00.

It is the responsibility of the applicant to submit complete and correct information. Incomplete or incorrect information may invalidate your application. The applicant, by filing this application, agrees to comply with all applicable requirements of the [Unified Development Ordinance](#).

APPLICANT INFORMATION

Name: _____

Mailing Address: _____

Phone Number: _____ Email: _____

PROPERTY OWNER INFORMATION *(if different from applicant)*

Name: _____

Mailing Address: _____

Phone Number: _____ Email: _____

SUBJECT PROPERTY INFORMATION

Location: _____

Parcel Number: _____

Existing Zoning: _____

Use of Property: _____

APPLICATION SUBMITTAL INFORMATION

All applications must include a site plan, drawn to scale, and supporting text that, as approved, will become a part of the Ordinance amendment. The site plan, drawn by an architect, landscape architect, or engineer licensed to practice in North Carolina, shall include any supporting information and text that specifies the actual use or uses intended for the property and any rules, regulations, and conditions in addition to all predetermined Ordinance requirements, will govern the development and use of the property. The applicant acknowledges that they will review the conditional zoning request prior to any zoning permits being issued by the Town for such project. The applicant shall, at a minimum, include as part of the application, each of the items listed below (including all submittal requirements listed in Appendix 2 of the UDO):

- A boundary survey showing the total acreage, present zoning classifications, date, and north arrow.
- The owner's names, addresses and the tax parcel numbers of all adjoining properties.
- All existing easements, reservations, and right-of-way on the property or properties in question.
- Proposed principal uses: a general summary of the uses that will take place, with reference made to the list of uses found in Section D-703 of the Unified Development Ordinance.
- Traffic impact analysis/study for the proposed service area, as determined by the Town Engineer, shall be required. In addition, traffic, parking and circulation plans, showing the proposed locations and arrangement of parking spaces and access points to adjacent streets including typical parking space dimensions and locations (for all shared parking facilities) along with typical street cross-sections.
- General information on the number, height, size, and location of structures.
- All proposed setbacks, buffers, screening, and landscaping required by these regulations or otherwise proposed by the petitioner.
- All existing and proposed points of access to public streets.
- Proposed phasing of the project.
- Proposed number, location, type, and size of all commercial signs.
- Exterior treatment of all principal structures.
- Delineation of all marginal lands, including areas within the regulatory floodplain, as shown on official Flood Hazard Boundary Maps for Union County.
- Existing and proposed topography at five-foot contour intervals or less.
- Scale and physical relationship of buildings relative to abutting properties.
- Public Involvement Meeting Labels.

Planning Board Review

Before the Planning Board review, the applicant must provide a written report of at least one community meeting held by the applicant. Reasonable notice of the required community meeting shall be provided as stated in Section D-607.C.5 of the Unified Development Ordinance. The Zoning Administrator shall present any properly completed application to the Planning Board at its next regularly scheduled meeting occurring at least 15 days after the

application has been deemed complete and ready for submission to the Planning Board. The Planning Board, by majority vote, may shorten or waive the time provided for receipt for a completed application. The Planning Board shall have 30 days from the date that the application is presented to it to review the application and to act. If such period expires without action taken by the Planning Board, the application shall then be transferred to the Town Council without a Planning Board recommendation.

Public Hearing Required

Prior to deciding on rezoning a piece of property to a Conditional Zoning District, the Town Council shall have held a public hearing. Notice of such public hearing shall have been given as prescribed in Section D-602 of the Unified Development Ordinance.

Action by Town Council

Conditional Zoning District decisions are a legislative process and shall consider applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances. A statement analyzing the reasonableness of the proposed rezoning shall be prepared for each application and evaluated by the Town Council. Once the public hearing has been held, the Town Council shall act on the petition. The Town Council shall have the authority to:

- a. Approve the application as submitted.
- b. Deny approval of the application.
- c. Approve application with modifications that are agreed to by the applicant.
- d. Submit the application to the Planning Board for further study. The Planning Board shall have up to 31 days from the date of such submission to make a report to the Town Council. If no report is issued, the Town Council can take final action on the petition. The Town Council reserves the right to schedule and advertise a new public hearing based on the Planning Board’s report.

CERTIFICATION

I HEREBY CERTIFY that all the information provided for this application and all attachments is true and correct to the best of my knowledge. I further certify that I am familiar with all applicable requirements of the Weddington Unified Development Ordinance concerning this proposal, and I acknowledge that any violation of such will be grounds for revoking any approvals or permits granted or issued by the Town of Weddington.

Applicant

Date

Property Owner

Date



August 5, 2024

Mr. Greg Gordos
Town Planner
1924 Weddington Rd,
Weddington, NC 28104

RE: Keystone Deal Rd | Summary of Community Meeting

Dear Mr. Gordos,

Public meeting 1 for the above referenced project was held on Wednesday, July 24, 2024, at Weddington Middle School. Below is a summary of issues discussed:

Traffic

1. Congestion on Deal Rd was mentioned by 2 people but understood that it was primarily from the school during start and end of day – developer acknowledged that information.
2. One person mentioned that it would be ideal to have a traffic signal at the end of Deal and 84 – response was that NCDOT would ultimately dictate that.
3. One person indicated that the High Schoolers parking overflows into surrounding neighborhoods – developer acknowledged that information.
4. One person asked if there will be on street parking; students tend to park in the surrounding neighborhoods if available – response was that none was intended.

Buffers

1. A few people, including the mayor and mayor pro-tem, asked about the 100' buffer – developer intends to submit a 50' buffer with additional landscape screening to supplement existing street line.
2. Rear yard buffer – will trees be preserved – developer response was yes, as much as possible depending on the overall topography and relationship of proposed road and house location. However, septic would also be a factor as directed by Union County during the permitting process.

Septic

1. One person asked questions regarding standard versus engineered septic – developer responded that it was their intention to install standard septic systems, but that Union County and the soil scientists will ultimately dictate through the permitting process.
 - a. Developer also responded that Perc tests could influence final lot layout and that it is subject to change due to septic fields.

Lighting

1. One person asked if there will be streetlights – developer responded that yes, however Union Power will have a say on design and installations.
2. One person asked if there will be a lit monument at the entrance – developer responded that it has not started any design on this as they are strictly in the preliminary stages of design; however, they will take into consideration any offsite lighting effect on neighboring homes.

Homes

Page 2 of 2
Mr. Greg Gordos
August 5, 2024

1. A few people asked about the size of the homes – developer responded that it will be client driven since they are a custom home builder and will not build spec homes, however their offerings range from 2,800-6,000sf.
2. Several people asked about the pricing of the homes – developer responded that the ‘base’ home would probably start at \$900,000 and that based on past clients, most add about \$250,000 of options to the home. Several people spoke to developer after the presentation, strongly recommending increasing the price of the homes. Developer responded that the market and client will ultimately drive the price and value, but their comments will be taken into consideration.
3. Several people wanted to ensure that the homes exterior would not be vinyl – developer agreed that vinyl wouldn’t even be an option for clients.
4. Several people wanted to ensure that no rezoning, no apartments, nor any townhomes would be built – developer responded that they are NOT requesting any rezoning or any increased density, that in fact, they are respecting the current zoning and complying with its classification, in other words, building by right.

Sincerely,

Marc Momsen, PE
Senior Project Manager
V3 Southeast

KEYSTONE DEAL ROAD COMMUNITY MEETING SIGN IN SHEET



NAME:	ADDRESS:	EMAIL/PHONE: (OPTIONAL)
ALAM, KARL K	5104 CHICKADEE CT MATTHEWS, NC 28104	
ALLISON, DAVID	3931 MOURNING DOVE DR WEDDINGTON, NC 28104	
ANDERSON, MICHAEL J	7011 HIGH OAKS DR MATTHEWS, NC 28104	
ANDREWS, WALTER G	7001 HIGH OAKS DR MATTHEWS, NC 28104	
BALL, PHILIPPE G	7010 HIGH OAKS DR MATTHEWS, NC 28104	
BEGY, MICHAEL AUGUST	1306 VERRY CT MATTHEWS, NC 28104	
BISBIKIS, PAVLOS	5916 PORTBURN RD CHARLOTTE, NC 28211	
BOUTWELL, JOHN D	6500 DEAL RD MATTHEWS, NC 28104	
BOWMAN, KYLE D	3339 GREENHURST DR MATTHEWS, NC 28104	
BROWN, DAVID WAYNE	3700 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
BYRNE, RICHARD A	6521 DEAL RD MATTHEWS, NC 28104	
CARRAS, ADRIAN	6513 DEAL RD MATTHEWS, NC 28104	
CHAO, WAI LAP	3130 FOREST LAWN DR MATTHEWS, NC 28104	
CIPPOLETTI, JOSEPH	3327 IRONWOOD DR MATTHEWS, NC 28104	
CLARK MICHAEL	7029 HIGH OAKS DR MATTHEWS, NC 28104	
CONWAY, RODELYN LOPEZ	7002 HIGH OAKS DR MATTHEWS, NC 28104	
DEPASQUALE, JOHN	6216 ADELAIDE PL WAXHAW, NC 28173	

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)
DEVEREAUX, KERRY M	2233 WEDGEWOOD DR MATTHEWS, NC 28104	
DILLER, JACOB C	3311 IRONWOOD DR MATTHEWS, NC 28104	
DOVER, JAMES HAROLD SR	3901 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
ENLOW-NOVITSKY, HEATHER JUNE	4764 HOMESTEAD PL MATTHEWS, NC 28104	
ETHRIDGE, DAVID C	157 CREEK HARBOUR CIR MURRELLS INLET, SC 29576	
EVERHART, SUSAN RENEE	4039 MOURNING DOVE DR WEDDINGTON, NC 28104	
FIDLER, KRIS B	3919 MOURNING DOVE DR MATTHEWS, NC 28104	
FULTON, CRAIG B	1309 VEERY CT MATTHEWS, NC 281047251	
GARCIA, FRANCISCO	817 BEAUHAVEN LN WAXHAW, NC 28173	
GARVEY, MICHAEL JOSEPH	6512 DEAL RD MATTHEWS, NC 28104	
GERTZMAN, STEVEN MARC	3690 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
GESNER, KENNETH	3335 IRONWOOD DR MATTHEWS, NC 28104	
GRETZ, BRIAN F	6074 BLUEBIRD HILL LN MATTHEWS, NC 28104	
GRETZ, STEPHANIE S	4732 HOMESTEAD PL MATTHEWS, NC 28104	
GROVES, J RANDALL	4732 HOMESTEAD PL MATTHEWS, NC 28104	
HEMPHILL-NOLAN, LOUISE C	1205 HADLEY PARK LN MATTHEWS, NC 28104	
HUGHES, KEVIN M	7015 HIGH OAKS DR MATTHEWS, NC 28104	

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)
JACKSON, JENNIFER	6516 DEAL RD MATTHEWS, NC 28104	
JANKOWSKI, ELIZABETH K	7019 HIGH OAKS DR MATTHEWS, NC 28104	
JOHNSON, VIVIAN	3825 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
KARIBIAN, JACK	3891 MOURNING DOVE DR MATTHEWS, NC 28104	
KEIL, EDWARD GRANT	3821 MOURNING DOVE DR WEDDINGTON, NC 28104	
KEY, TIMOTHY C	3801 MOURNING DOVE DR MATTHEWS, NC 28104	
LANGE, SHAWN CHRISTOPHER	4748 HOMESTEAD PL MATTHEWS, NC 28104	
LEANDER, PROPERTIES LLC	3201 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
LEANDER, RANDALL M	3332 GREENHURST DR MATTHEWS, NC 28104	
MABARAK, MICHAEL B	1312 VEERY CT MATTHEWS, NC 28104	
MCWILLIAMS, DREW MICHAEL	6000 DEAL RD MATTHEWS, NC 28104	
MERVICH, ROBERT L	4756 HOMESTEAD PL MATTHEWS, NC 28104	
MILLER, JACOB	5100 CHICKADEE CT MATTHEWS, NC 28104	
MILLER, RYAN THOMAS	3903 MOURNING DOVE DR MATTHEWS, NC 28104	
MITROS, MICHAEL J	3701 SONG SPARROW DR MATTHEWS, NC 28104	
MORRONE, LUISA C	7018 HIGH OAKS DR MATTHEWS, NC 28104	
MOSKOWITZ, WENDI A	3716 TWELVE MILE CREEK RD MATTHEWS, NC 28104	

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)
MUDD, JOHN T	2225 WEDGEWOOD DR MATTHEWS, NC 28104	
NAZIROV, SARDOR	3712 SONG SPARROW DR MATTHEWS, NC 28104	
NBI INVESTMENTS LLC	1 SPICE ROAD FORT MILL, SC 29707	
NICHOLS, WESLEY C	5924 DEAL RD MATTHEWS, NC 28104	
NICOLETTI, LAWRENCE F JR	7026 HIGH OAKS DR MATTHEWS, NC 28104	
NUNZIATA, LAURA	3603 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
PHLIPOT, JOHN D	3812 MOURNING DOVE DR MATTHEWS, NC 28104	
PINCUS, GARY J	3809 MOURNING DOVE DR MATTHEWS, NC 28104	
PORTARO, ROGER A JR	5932 DEAL RD MATTHEWS, NC 28104	
PRIMM, KEITH E	8511 PRINCE VALIANT DR MARVIN, NC 28173	
PRIOR, ANTHONY J	2241 WEDGEWOOD DR MATTHEWS, NC 28104	
REEVES, DAVID D	PO BOX 646 MATTHEWS, NC 28106	
ROBERTS, ROBERT LEE III	2015 WEDGEWOOD DR MATTHEWS, NC 28104	
ROBINSON, LINDELL R	6080 BLUEBIRD HILL LN MATTHEWS, NC 28104	
ROGERS, FRANK R JR	4692 HOMESTEAD PL MATTHEWS, NC 28104	
ROLPH, ANDREW C	608 MAPLE GROVE CHURCH RD MATTHEWS, NC 28104	
SHERONAS, DAVID A	3707 SONG SPARROW DR MATTHEWS, NC 28104	

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)
SLOYAN, CHRISITOPHER F	3706 SONG SPARROW DR MATTHEWS, NC 28104	
SMITH, BENNETT	3709 SONG SPARROW DR MATTHEWS, NC 28104	
SNYDER, MISTY LYNN DOVER	3833 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
STAUDE, KENT ALEXANDER	3845 MOURNING DOVE DR WEDDINGTON, NC 28104	
STONEMAN, MICHAEL ALLEN	3801 TWELVE MILE CREEK RD MATTHEWS, NC 28104	
SUTTON, REGINALD L	7025 HIGH OAKS DR MATTHEWS, NC 28104	
SWOPE, MATTHEW C	3343 IRONWOOD DR MATTHEWS, NC 28104	
T1CLT TRUST	1233 WEDDINGTON HILLS DR MATTHEWS, NC 28104	
THOMPSON, BARRY	3963 MOURNING DOVE DR MATTHEWS, NC 28104	
UNION COUNTY BOARD OF EDUCATION	400 N CHURCH STREET MONROE, NC 28112	
WAN, YIPING	6505 DEAL RD MATTHEWS, NC 28104	
WARNER, ROBERT C	3700 SONG SPARROW DR MATTHEWS, NC 28104	
WEBER, JOHN B	3806 MOURNING DOVE DR MATTHEWS, NC 28104	
WILKERSON, FORREST REID III	1 SPICE ROAD FORT MILL, SC 29707	
WINSTON, GLADYS B	6901 DEEP SPRINGS RD PEACHLAND, NC 28133	
WOLF, JAMES C	3842 MOURNING DOVE DR MATTHEWS, NC 28104	
WOODLIEF, GUY W	3818 MOURNING DOVE DR MATTHEWS, NC 28104	

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)

NAME:	PHONE:	EMAIL/PHONE: (OPTIONAL)



ELYSIAN at WEDDINGTON

WEDDINGTON, NC | DATE: 08.20.2024 | PROJECT NO.: 240110



PERSPECTIVE 1



landscape architecture | planning | civil engineering | surveying

V3 Southeast



CURRENT

ELYSIAN at WEDDINGTON

WEDDINGTON, NC | DATE: 08.20.2024 | PROJECT NO.: 240110

PERSPECTIVE 2



landscape architecture | planning | civil engineering | surveying

V3 Southeast

NC 08/20/24 11:00 AM

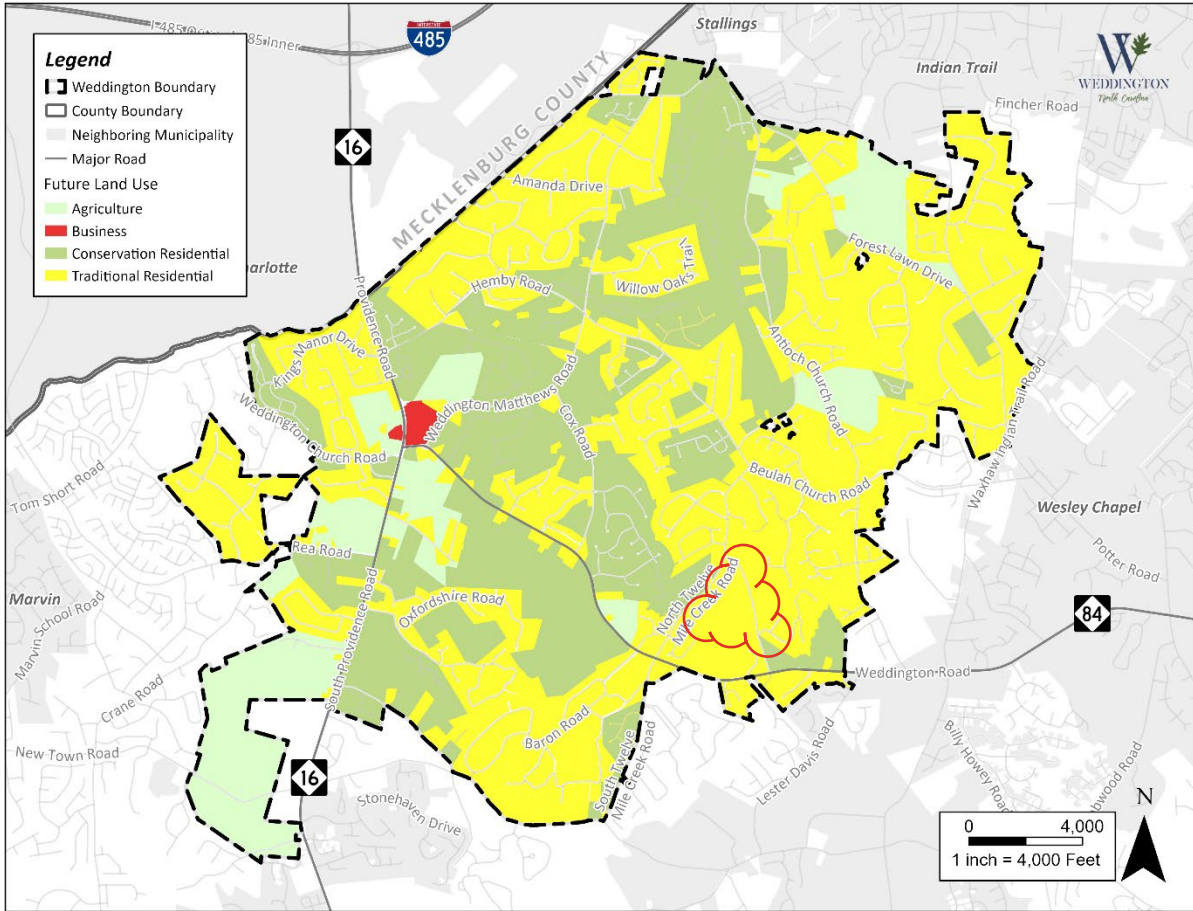
PROPOSED



CURRENT



Map 4 Future Land Use Map



Elysian at Weddington

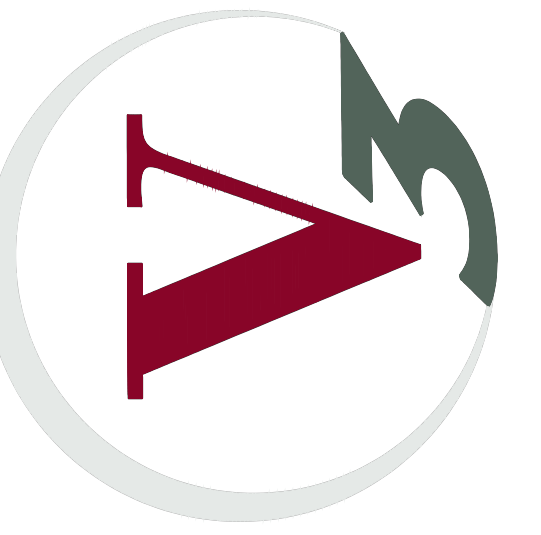
Deal Road, Weddington, NC 28212

Preliminary Sketch Plan

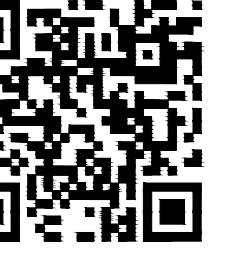
August 6th, 2024

V3 Project #: 240110.01

PROJECT REVISIONS



V3 Southeast
3700 South Blvd., Suite 200
Charlotte, NC 28209
p: 704-940-2883
www.v3co.com



VISTO VERTERE VIRTUTE

PROJECT TEAM

Civil Engineering & Landscape Architecture



V3 Southeast
3700 South Boulevard, Suite 200
Charlotte, NC 28209
phone: 704-940-2883
www.v3co.com

Owner

Keystone Custom Homes
2030 Airport Flex Drive, Suite R
Charlotte, NC 28208
phone: 877-821-2469

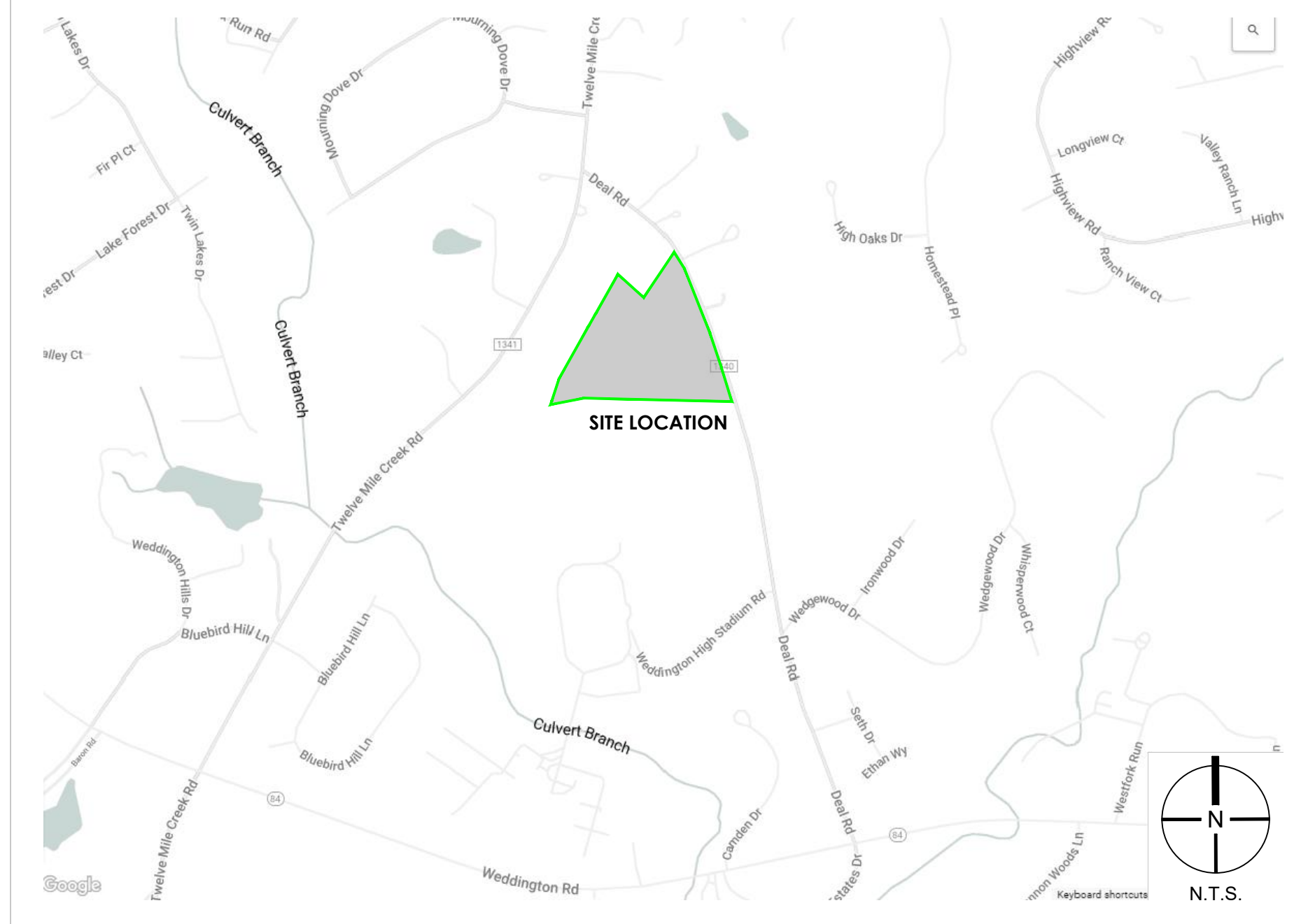
Surveying

Delta Land Service Inc.
1020 Crews Road
Matthews, NC 28105
phone: 704-847-4700

REGULATORY APPROVALS

PROJECT CERTIFICATION CHECKLIST

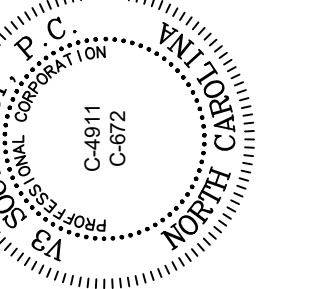
VICINITY MAP



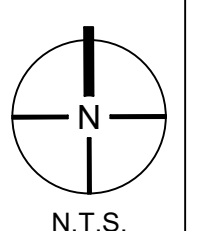
SHEET INDEX

Sheet Number	Description	Revision #	Date
SK-100	COVER SHEET		09.06.24
SK-101	DIMENSION CONTROL PLAN		09.06.24
SK-102	CELESTIAL WAY PROFILE		09.06.24
SK-103	UCPW SKETCH PLAN		09.06.24
SK-104	EROSION CONTROL PLAN (STAGE 1)		09.06.24
SK-105	LANDSCAPE PLAN		09.06.24

SITE OVERVIEW MAP

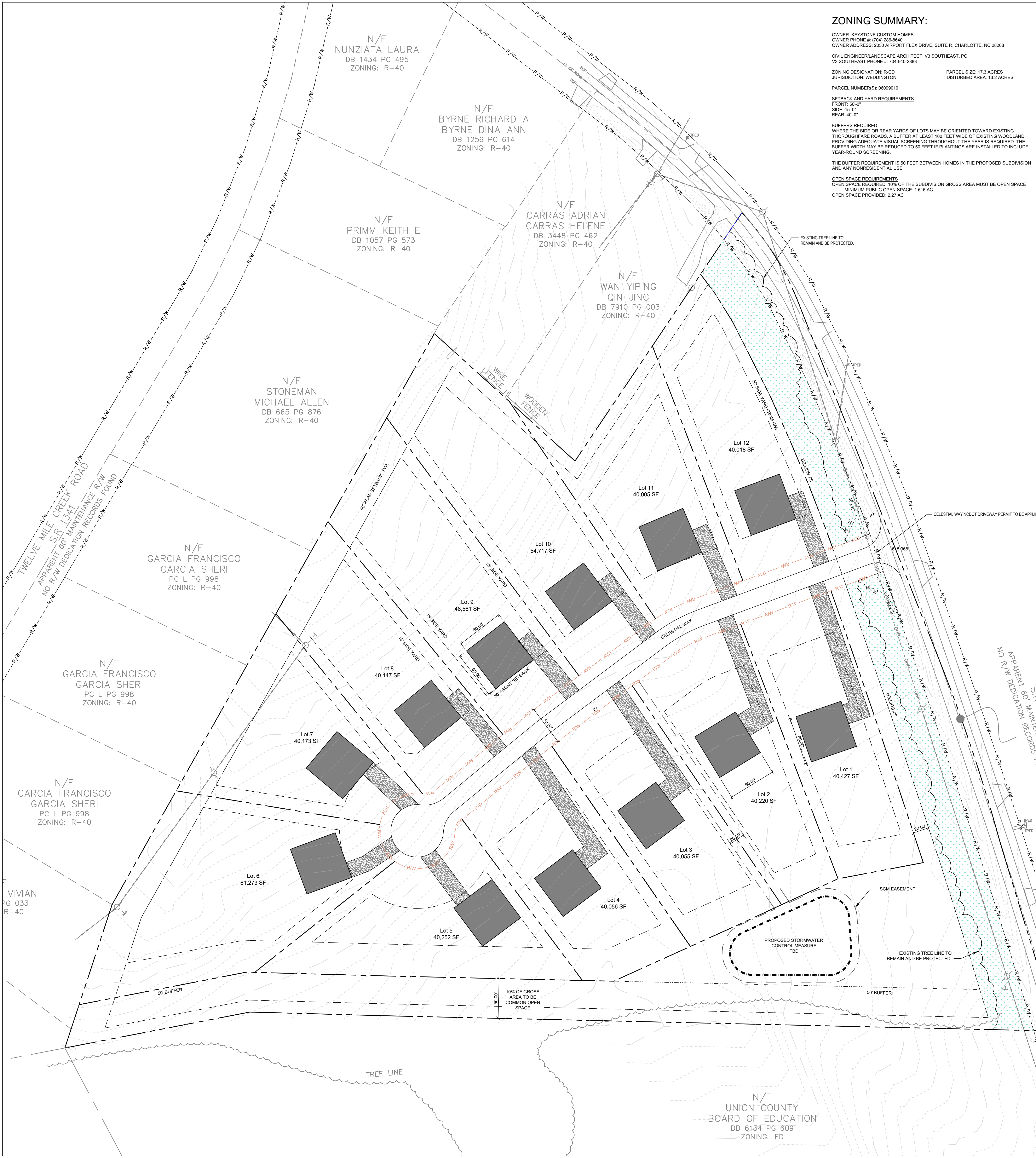


Elysian at Weddington
Deal Road, Weddington, NC 28212
Preliminary Sketch Plan
August 6th, 2024 V3 Project #: 240110.01
COVER SHEET SK-100



N.T.S.

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ZONING SUMMARY:

OWNER: KEYSTONE CUSTOM HOMES
OWNER PHONE #: (704) 286-8640
OWNER ADDRESS: 2030 AIRPORT FLEX DRIVE, SUITE R, CHARLOTTE, NC 28208
CIVIL ENGINEER/LANDSCAPE ARCHITECT: V3 SOUTHEAST, PC
V3 SOUTHEAST PHONE #: 704-940-2883

ZONING DESIGNATION: R-CD PARCEL SIZE: 17.3 ACRES
JURISDICTION: WEDDINGTON DISTURBED AREA: 13.2 ACRES

PARCEL NUMBER(S): 0699910

SETBACK AND YARD REQUIREMENTS

FRONT: 50'-0"
SIDE: 15'-0"
REAR: 40'-0"

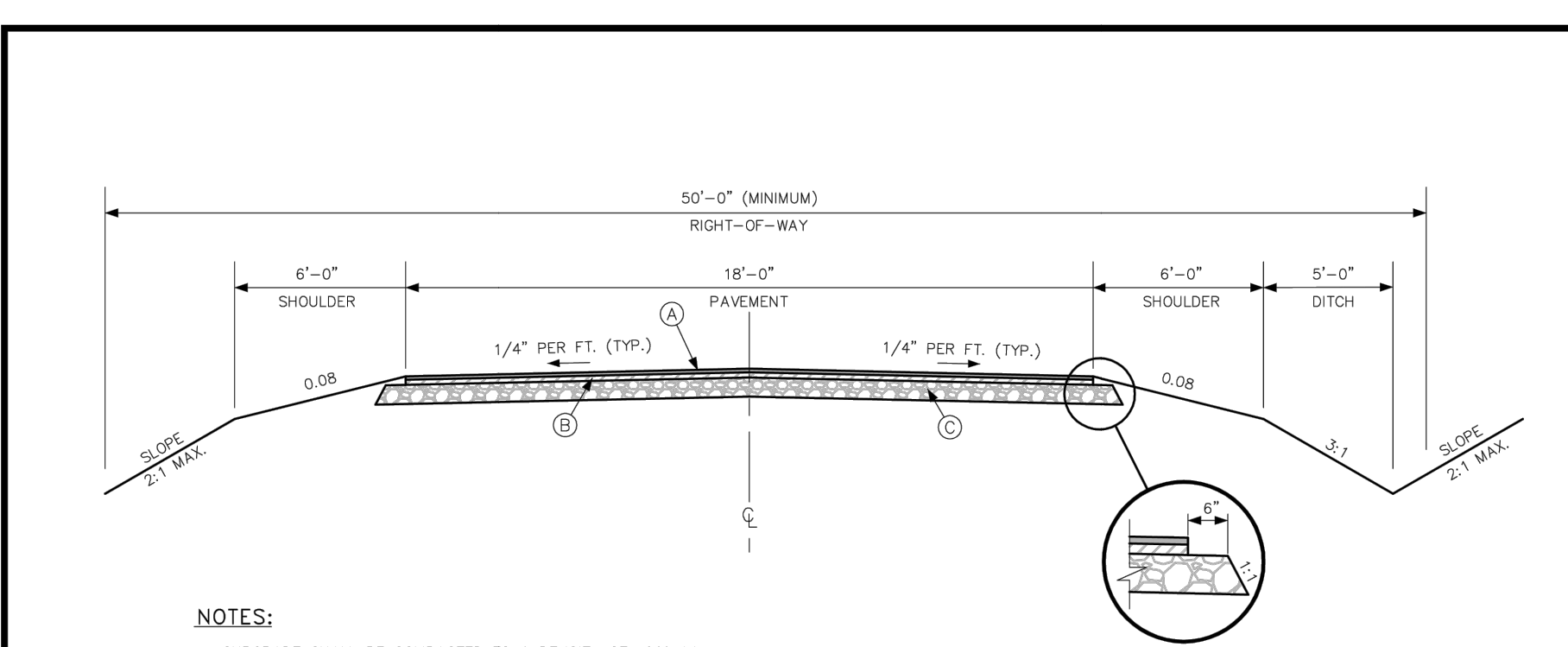
BUFFERS REQUIRED

WHERE THE SIDE OR REAR YARDS OF LOTS MAY BE ORIENTED TOWARD EXISTING THOROUGHFARE ROADS, A BUFFER AT LEAST 100 FEET WIDE OF EXISTING WOODLAND PROVIDING ADEQUATE VISUAL SCREENING THROUGHOUT THE YEAR IS REQUIRED. THE BUFFER WIDTH MAY BE REDUCED TO 50 FEET IF PLANTINGS ARE INSTALLED TO INCLUDE YEAR-ROUND SCREENING.

THE BUFFER REQUIREMENT IS 50 FEET BETWEEN HOMES IN THE PROPOSED SUBDIVISION AND ANY NONRESIDENTIAL USE.

OPEN SPACE REQUIREMENTS

OPEN SPACE REQUIRED: 10% OF THE SUBDIVISION GROSS AREA MUST BE OPEN SPACE
MINIMUM PUBLIC OPEN SPACE: 1.616 AC
OPEN SPACE PROVIDED: 2.27 AC



NOTES:

- SUBGRADE SHALL BE COMPACTED TO A DENSITY OF 100% IN ACCORDANCE WITH AASHTO-99 AND MCDOT SPECIFICATIONS SECTION 200.
- AGGREGATE BASE COURSE SHALL BE COMPACTED TO A DENSITY OF 100%.
- FINAL LIFT OF PAVEMENT SHALL BE IN ACCORDANCE WITH MCDOT SECTION 610.
- IF REQUIRED BY THE TOWN, TESTS SHALL BE CONDUCTED BY AN INDEPENDENT TESTING FIRM AT THE DEVELOPER'S EXPENSE.
- FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED UNTIL AFTER FIRM OF HOME SITES ARE DEVELOPED. THE FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED FOR STREETS THAT WILL BE USED TO ACCESS FUTURE PHASES UNTIL THOSE PHASES REACH 80% BUILD-OUT.

DATE: SEPTEMBER 2014 SCALE: N.T.S.

TOWN OF WEDDINGTON LOCAL STREET DETAIL

REVISIONS

STANDARD DETAILS

TOWN OF WEDDINGTON

WEDDINGTON, N.C.

SECTION NO. R SHEET NO. 100

SCALE: N.T.S.

Parcel #	Area	Perimeter	Parcel Table	
			Segment Lengths	Segment Bearings
1	40426.87	933.381	120.950	N69° 41' 22.39"E
			51.781	S19° 18' 19.71"E
			63.241	S19° 05' 57.10"E
			61.462	S18° 58' 26.75"E
			57.454	S18° 33' 19.27"E
			126.881	S18° 20' 45.72"E
			109.029	S73° 15' 11.89"W
2	40220.12	911.851	342.583	S20° 55' 14.60"E
			78.131	S66° 23' 28.12"W
			333.149	N34° 16' 51.12"W
			62.894	N53° 09' 37.65"E
			50.485	N61° 25' 30.02"E
			44.609	N69° 41' 22.39"E
			342.583	N20° 55' 14.60"W
3	40055.46	891.627	333.149	S34° 16' 51.12"E
			54.229	S65° 03' 08.22"W
			71.760	S65° 38' 51.51"W
			306.066	N34° 40' 14.30"W
			64.524	N50° 40' 42.20"E
			119.970	N53° 09' 37.65"E
			30.288	N88° 41' 24.25"W
4	40055.69	849.172	252.385	N88° 44' 55.59"W
			145.572	N50° 40' 42.23"E
			306.066	S34° 40' 14.30"E
			105.861	S65° 38' 51.51"W
			252.385	S36° 44' 55.59"E
			412.053	N88° 35' 16.17"W
			224.759	N61° 37' 04.13"E
5	40251.91	1011.021	101.866	N64° 46' 27.44"E
			19.957	N28° 37' 44.81"E
			10.324	N88° 26' 32.89"W
			214.200	S79° 00' 22.36"W
			132.307	N18° 14' 03.85"E
			164.224	N29° 23' 38.95"E
			259.482	S80° 34' 11.03"E
6	61272.70	1057.707	52.411	S22° 10' 45.37"E
			224.759	S51° 37' 04.13"W
			259.482	N80° 34' 11.03"W
			255.440	N29° 23' 39.88"E
			291.255	S39° 10' 13.46"E
			90.099	N29° 24' 34.28"E
			42.933	N29° 28' 34.04"E
7	40172.85	879.499	0.024	S39° 23' 40.99"E
			346.515	S39° 23' 40.99"E
			108.664	S50° 36' 19.01"W
			18.562	S74° 14' 21.21"W
			346.513	N39° 23' 40.99"W
			149.779	N29° 30' 19.73"E
			404.416	S36° 42' 19.88"E
8	40147.25	898.049	74.751	S53° 09' 37.65"W
			46.070	S50° 51' 36.02"W
			404.416	N36° 42' 19.88"W
			121.596	N29° 30' 19.73"E
			127.246	S47° 49' 36.91"E
			328.976	S33° 57' 17.20"E
			11.917	S54° 33' 17.52"W
9	48560.55	1021.530	109.026	S53° 09' 37.65"W
			328.976	N33° 57' 17.20"W
			111.314	S47° 49' 36.91"E
			174.305	N33° 55' 20.75"E
			316.456	S21° 05' 06.01"E
			66.154	S69° 41' 22.39"W
			53.892	S62° 49' 39.90"W
10	54717.19	1102.277	316.456	N21° 05' 06.01"W
			106.022	N33° 55' 20.75"E
			29.514	S37° 00' 01.87"E
			42.408	S31° 54' 57.94"E
			106.022	S28° 49' 21.78"E
			59.051	S23° 57' 47.33"E
			64.298	S22° 53' 22.40"E
11	40004.57	1051.098	22.187	S19° 43' 08.70"E
			120.007	S69° 41' 22.39"W
			316.456	N21° 05' 06.01"W
			106.022	N33° 55' 20.75"E
			29.514	S37° 00' 01.87"E
			42.408	S31° 54' 57.94"E
			106.022	S28° 49' 21.78"E
12	40018.44	927.835	59.365	S22° 53' 22.40"E
			64.298	S22° 53' 22.40"E
			22.187	S19° 43' 08.70"E
			120.007	S69° 41' 22.39"W
			316.456	N21° 05' 06.01"W
			106.022	N33° 55' 20.75"E
			29.514	S37° 00' 01.87"E

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www.v3co.com

landscape architecture | planning | civil engineering | surveying

Keystone Custom Homes

2030 Airport Flex Rd.
Charlotte, NC 28208
877-699-7859
KeystoneCustomHome.com

Elysian at Weddington
Deal Road
Weddington, NC 28212

VICINITY MAP N.T.S.

TOPOGRAPHIC SURVEY DATED JULY 28, 2004 PROVIDED BY BILTIR LAND SERVICES, INC. 608 MATTHEWS MINT HILL RD., MATTHEWS, NC 28105, (704) 847-4700

FOR REVIEW ONLY

DATE: 09.06.24 PM: MDM
DRAWN BY: DFS REVIEWED BY: MDM

PROJECT NUMBER: 240110.01

DIMENSION CONTROL PLAN

REVISIONS:

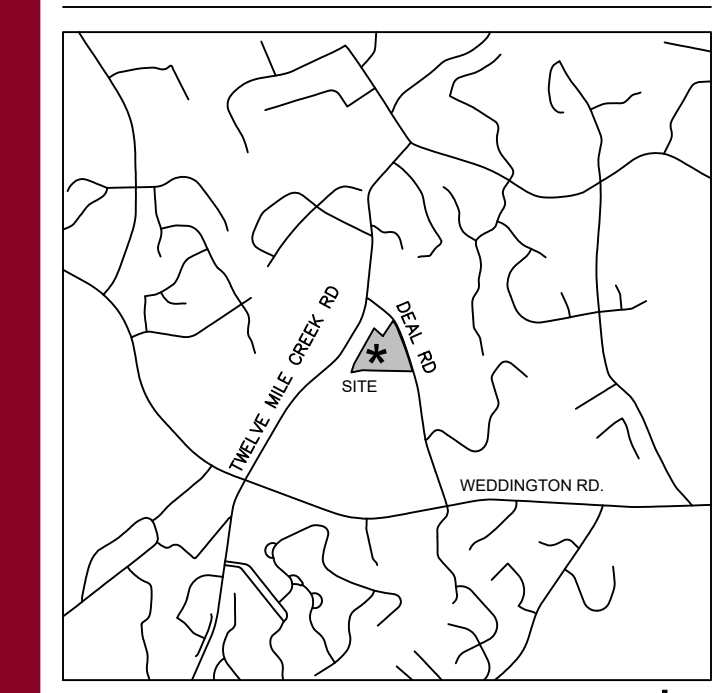
SCALE: 1"=50'
0 25' 50' 100'

North Carolina
REGISTERED SURVEYOR

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.

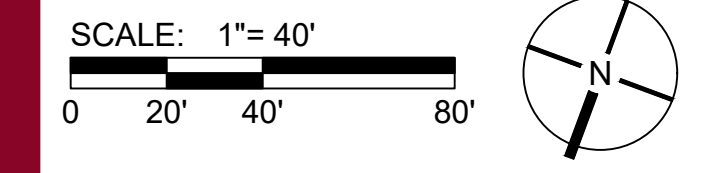
2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LINCOLN COUNTY PUBLIC WORKS.

SK-101
Sketch Plan



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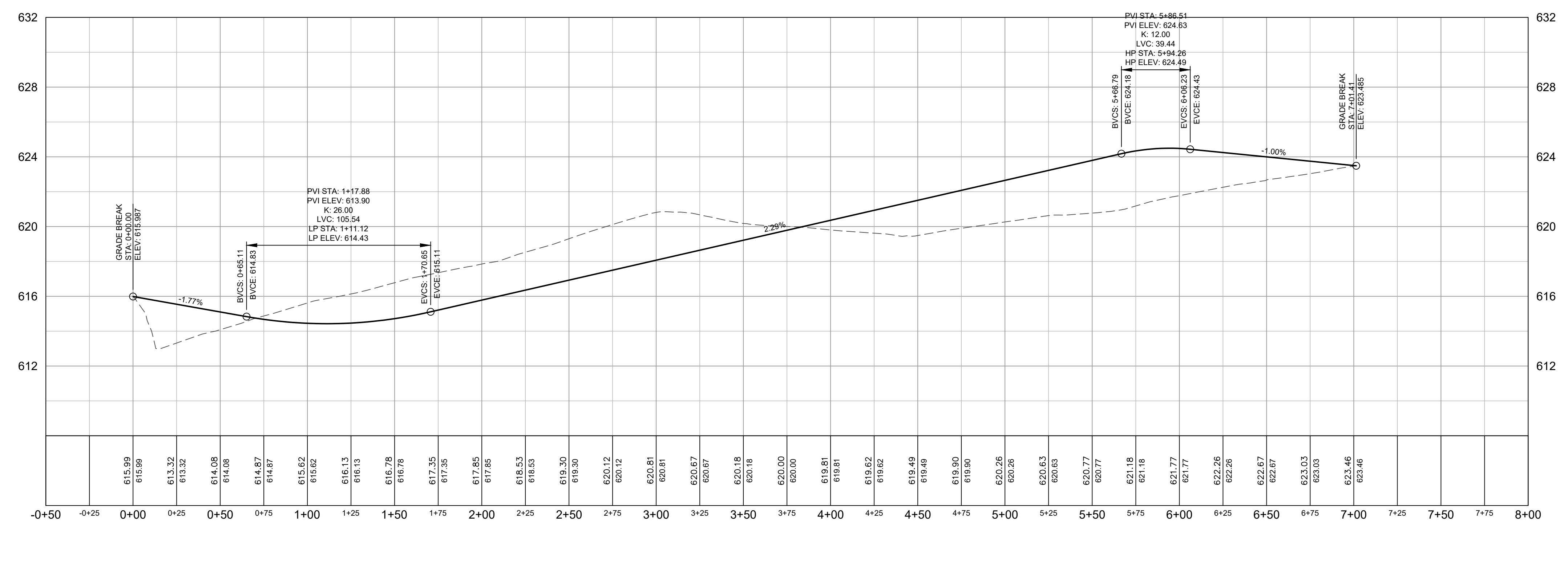


DATE: 09/06/24 PM:MDM
DRAWN BY: DFS REVIEWED BY: MDM
PROJECT NUMBER: 240110.01

CELESTIAL WAY PROFILE

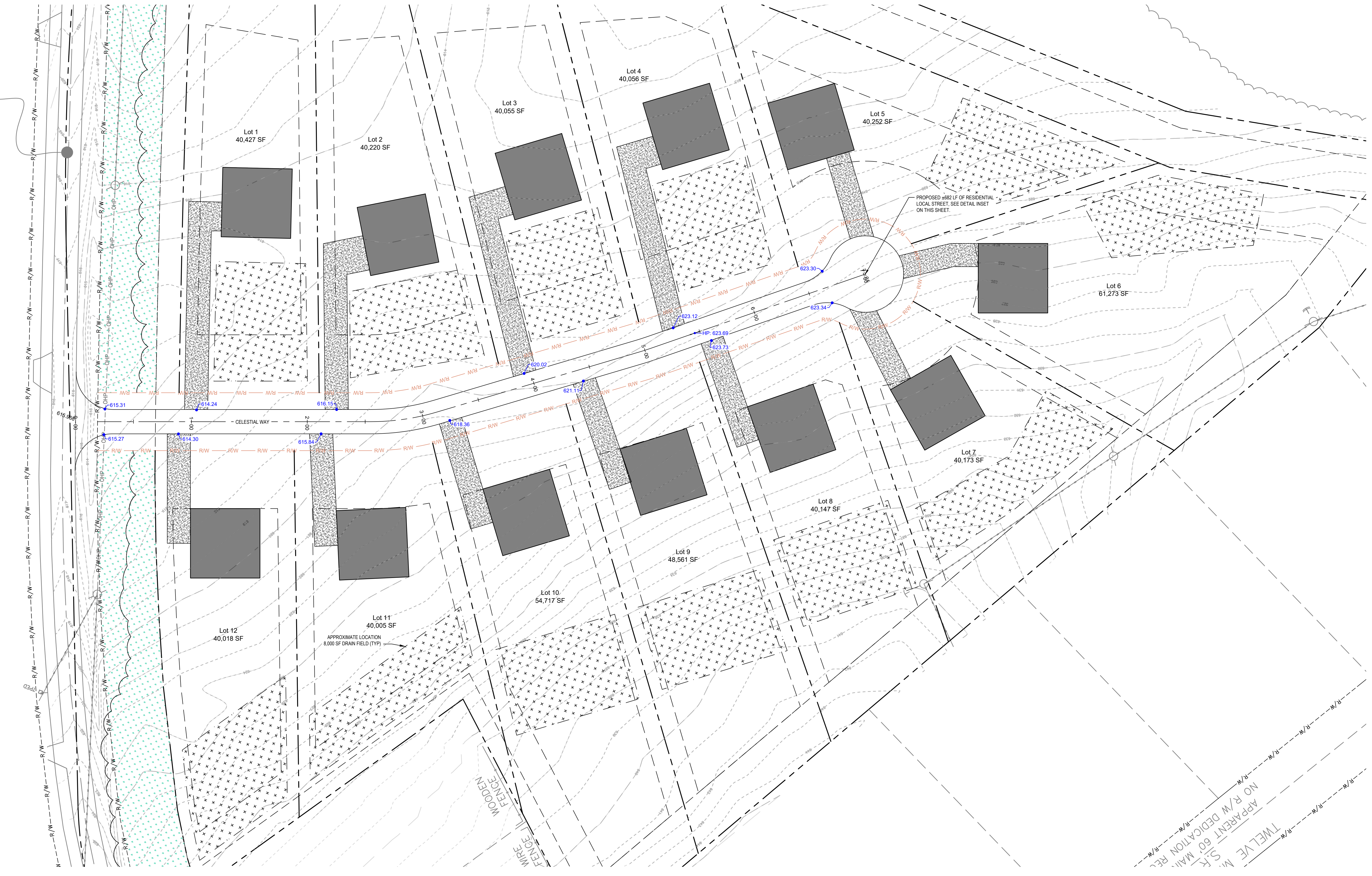
REVISIONS:

NO.	DATE	DESCRIPTION



CELESTIAL WAY - STA. 0+00.00 TO STA. 7+01.41 - PROFILE

DEAL ROAD
S.R. 1340
APPARENT 60' MAINTENANCE R/W
NO R/W DEDICATION RECORDS FOUND



CELESTIAL WAY - STA. 0+00.00 TO STA. 7+01.41 - PLAN

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GENERAL COMMENTS:

- DEVELOPER INFORMATION:
 - NAME: TOM CROUCH
 - ADDRESS: 231 POST OFFICE DRIVE #88
 - PHONE: 980-333-9019
 - EMAIL: TCROUCH@THEMOSERGROUPINC.COM
- OWNER:
 - NAME: KEYSTONE CUSTOM HOMES
 - ADDRESS: 2030 AIRPORT FLEX DRIVE, STE R, CHARLOTTE, NC 28208
 - PHONE # 877-821-2499
 - EMAIL: UNKNOWN
- ENGINEER:
 - NAME: V3 SOUTHEAST, P.C. DAVID S. KLAUSMAN P.E.
 - ADDRESS: 3709 SOUTH BLVD, STE 200, CHARLOTTE, NC 28209
 - PHONE # 803-513-4734
 - EMAIL: DKLAUSMAN@V3CO.COM
- DEVELOPMENT INFORMATION:
 - NATURE: SINGLE FAMILY DETACHED RESIDENTIAL DEVELOPMENT
 - PROPOSED LOTS: 12
 - AVG BLDG SQ. FTG: 3600
 - PROPOSED CONSTRUCTION: SITE DEVELOPMENT
- PLANNING JURISDICTION:
 - NAME: WEDDINGTON
 - ADDRESS: DEAL ROAD, WEDDINGTON, NC 28212
 - PHONE #: 704-846-2700
 - EMAIL: TMANNING@TOWNOFWEDDINGTON.COM
- ESTIMATED CONSUMPTION OF FLOW:
 - DOMESTIC WATER: 400 GPD/CONNECTION = 400 X 12 = 4800 GPD
 - IRRIGATION: (0)
 - FIRE FLOW: (0)
 - SEWER: (0)
- PROPOSED METERS:
 - DOMESTIC: 3/4" METER (12)
 - IRRIGATION: (0)
 - FIRE: (0)

LEGEND

SYMBOL	DETAIL
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED WATER GATE VALVE (GV)
	PROPOSED WATER METER

WATER DISTRIBUTION NOTES:

- PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE UTILITY CONNECTION POINT(S) AT BUILDING(S) BASED ON PLUMBING PLANS. NOTIFY V3 SOUTHEAST IMMEDIATELY OF ANY DISCREPANCIES.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER WATER USING APPLIANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS UNION COUNTY WATER REQUIRED BACKFLOW PREVENTER.
- ALL WATER LINES, VALVES, FITTINGS, ETC. SHALL BE INSPECTED BY THE CIVIL ENGINEER. INSPECTION SHALL INCLUDE VISUAL OBSERVATION AND WILL INCLUDE TESTING IF APPLICABLE. TESTING SHALL BE PER FEDERAL, STATE, LOCAL REQUIREMENTS, OR PROJECT SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE OR HAS ULTIMATE JURISDICTIONAL AUTHORITY.
- CONTRACTOR SHALL CONTACT THE COUNTY ASSIGNED PLUMBING INSPECTOR FOR REVIEW OF WATER SYSTEM INSTALLATION, FROM THE BUILDING CONNECTION POINT TO THE MAIN LINE ONLY, PRIOR TO BACKFILLING TRENCHES.
- WATER LINES SHALL BE INSTALLED WITH A MINIMUM 36" COVER.
- WATER LATERAL(S) ARE LEFT (5) FIVE FEET FROM BUILDING FACE. REFER TO PLUMBING PLANS FOR CONNECTION POINTS. ALL CONNECTION MATERIAL BY BUILDING CONTRACTOR.
- ALL WATER VALVES MUST BE LOCATED IN GRASS / LANDSCAPE AREA OR ASPHALT PARKING / DRIVES. VALVES ARE NOT ALLOWED IN CONCRETE SIDEWALKS, PLAZAS, ETC.
- EACH UNION COUNTY WATER BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A UNION COUNTY WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

ADDITIONAL PLAN NOTES

- WATER AND SEWER TAPS, MATERIALS, AND INSTALLATION TO BE BY THE DEVELOPER.
- THE CONTRACTOR SHALL CONTACT UNION COUNTY WATER PERSONNEL AFTER THE MATERIALS HAVE BEEN APPROVED BY UNION COUNTY WATER AND AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. PLEASE REACH OUT TO LEE DILLON AT LEE.DILLON@UNIONCOUNTYNC.GOV TO SCHEDULE THE MEETING.
- ANY WORK OR TEST PERFORMED WITHOUT NOTIFICATION AND CONTACT WITH FIELD INSPECTORS SHALL BE INSTALLED AT THE CONTRACTOR'S RISK AND SUBJECT TO REMOVAL.
- IF ANY WELLS AND/OR ON-SITE WASTEWATER DISPOSAL SYSTEMS ARE DISCOVERED DURING THE SITE DEVELOPMENT PROCESS THEY WILL NEED TO BE ABANDONED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA LAWS AND RULES.

WATERMAIN EXTENSION INSET

SCALE: 1"=50'

V3 Southeast
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KeystoneCustomHome.com

Elysian at Weddington

Deal Road
Weddington, NC 28212

VICINITY MAP N.T.S.

TOPOGRAPHIC SURVEY DATED JULY 28, 2024 PROVIDED BY BELLA LAND SERVICES, INC. 608 MATTHEWS MINT HILL RD., MATTHEWS, NC 28105. (704) 847-4700.

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SCALE: 1"=50'

DATE: 09.06.24 PM:MDM
DRAWN BY: ZJH REVIEWED BY: MDM
PROJECT NUMBER: 240110.01

UCPW SKETCH PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

SK-103
Sketch Plan

North Carolina 811 logo

- CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC. TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
- ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.



LEGEND

SYMBOL	DESCRIPTION	DETAIL
	SEDIMENT BASIN	+
	DENUDED LIMITS	+
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE	+
	PROPOSED TREE PROTECTION FENCE	+
	PROPOSED SILT FENCE	+
	PROPOSED STORM DRAINAGE	+

- ### EROSION CONTROL NOTES:
- ANY DISTURBANCE BEYOND THE DENUDED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
 - DISTURBING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
 - CONTRACTOR SHALL MEET REQUIREMENTS SET FORTH IN THE "NEW GROUND STABILIZATION REQUIREMENTS" NPDES PERMIT EFFECTIVE APRIL 1, 2019 FOR THE EPA EFFLUENT GUIDELINES.
 - CONTRACTOR SHALL APPOINT A REPRESENTATIVE TO MONITOR AND INSPECT GROUND COVER AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER A STORM GREATER THAN 1/2 INCH. REPRESENTATIVE SHALL BE A LICENSED ENGINEER IN THE STATE OF NORTH CAROLINA OR A CERTIFIED SITE INSPECTOR IN CURRENT STANDING WITH NPDES. CONTRACTOR PRODUCE AND KEEP ON-SITE ALL MONITORING AND INSPECTION LOGS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE OWNER AND V3 SOUTHEAST REPRESENTATIVE NAME AND LICENSE OR CERTIFICATION NUMBER PRIOR TO INSTALLING EROSION CONTROL MEASURES.
 - ALL SLOPES GREATER THAN 2.5:1 SHALL BE STABILIZED WITH EROSION MATTING.
 - ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO CONTROL EROSION AND SEDIMENTATION OF THE SITE.
 - ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
 - SITE SOILS CLASSIFICATION IS GB2.
 - RIVER BASIN: YADKIN-PEE DEE
 - THE TOTAL SITE ACREAGE IS 17.3 ACRES. THE TOTAL DENUDED AREA IS 13.2 ACRES.

- ### STAGE 1 CONSTRUCTION SEQUENCE
- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF WEDDINGTON AND UNION COUNTY.
 - SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION AND IS SUBJECT TO A FINE.
 - INSTALL CONSTRUCTION ENTRANCE, TREE PROTECTION, AND SILT FENCE. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES. CALL FOR ON-SITE INSPECTION BY INSPECTOR TO GAIN APPROVAL TO PROCEED WITH REMAINING INSTALLATION OF EROSION AND SEDIMENT CONTROL DEVICES.
 - FOR STAGED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH STAGE OF EROSION CONTROL MEASURES.
 - COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
 - THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.

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3700 South Blvd., Suite 200
Charlotte, NC 28209
p: 704-940-2883
www.v3co.com

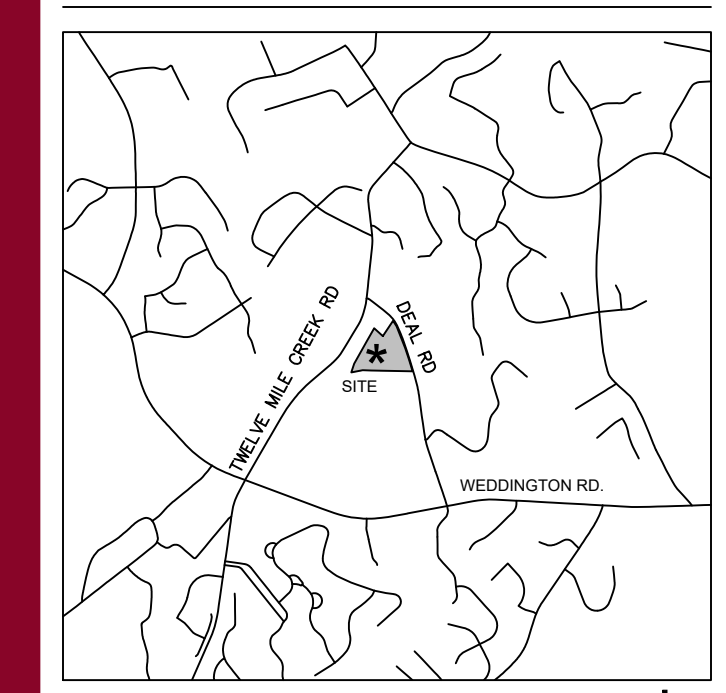
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Keystone Custom Homes

2030 Airport Flex Rd.
Charlotte, NC 28208
877-699-7859
KeystoneCustomHome.com

Elysian at Weddington

Deal Road
Weddington, NC 28212



VICINITY MAP N.T.S.
TOPOGRAPHIC SURVEY DATED JULY 28, 2022 PROVIDED BY BELT & LAND SERVICES, INC. 608 MATTHEWS MINT HILL RD., MATTHEWS, NC 28105. (704) 847-4700.

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SCALE: 1" = 50'

DATE: 09.06.24 PM:MDM
DRAWN BY: ZJH REVIEWED BY: MDM

PROJECT NUMBER: 240110.01

EROSION CONTROL PLAN (STAGE I)

REVISIONS:

NO.	DESCRIPTION	DATE

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC. TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.

2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.

SK-104

Sketch Plan



LEGEND

SYMBOL	DETAIL
	EXISTING TREE
	PROPOSED TREE PROTECTION FENCING
	PROPOSED TREE SAVE UNDISTURBED NATURAL AREA

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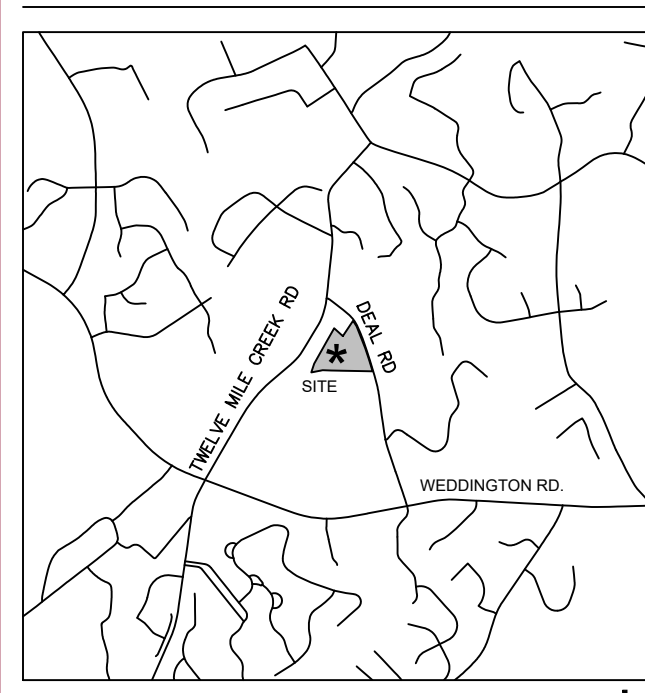
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**Elysian
 at
 Weddington**

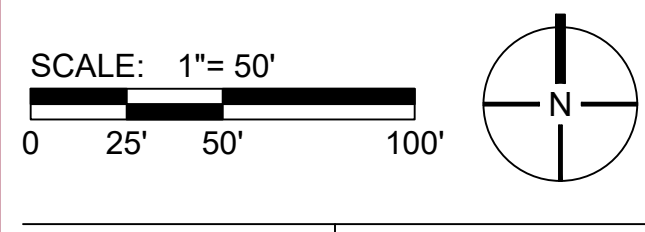
Deal Road
 Weddington, NC 28212



VICINITY MAP N.T.S.
TOPOGRAPHIC SURVEY DATED JULY 28, 2024 PROVIDED BY BLUE SKY LAND SERVICES, INC. 608 MATTHEWS MINT HILL RD., MATTHEWS, NC 28105. (704) 847-4700.

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DATE: 09.08.24
 DRAWN BY: ZJH
 PROJECT NUMBER: 240110.01

LANDSCAPE PLAN

REVISIONS:

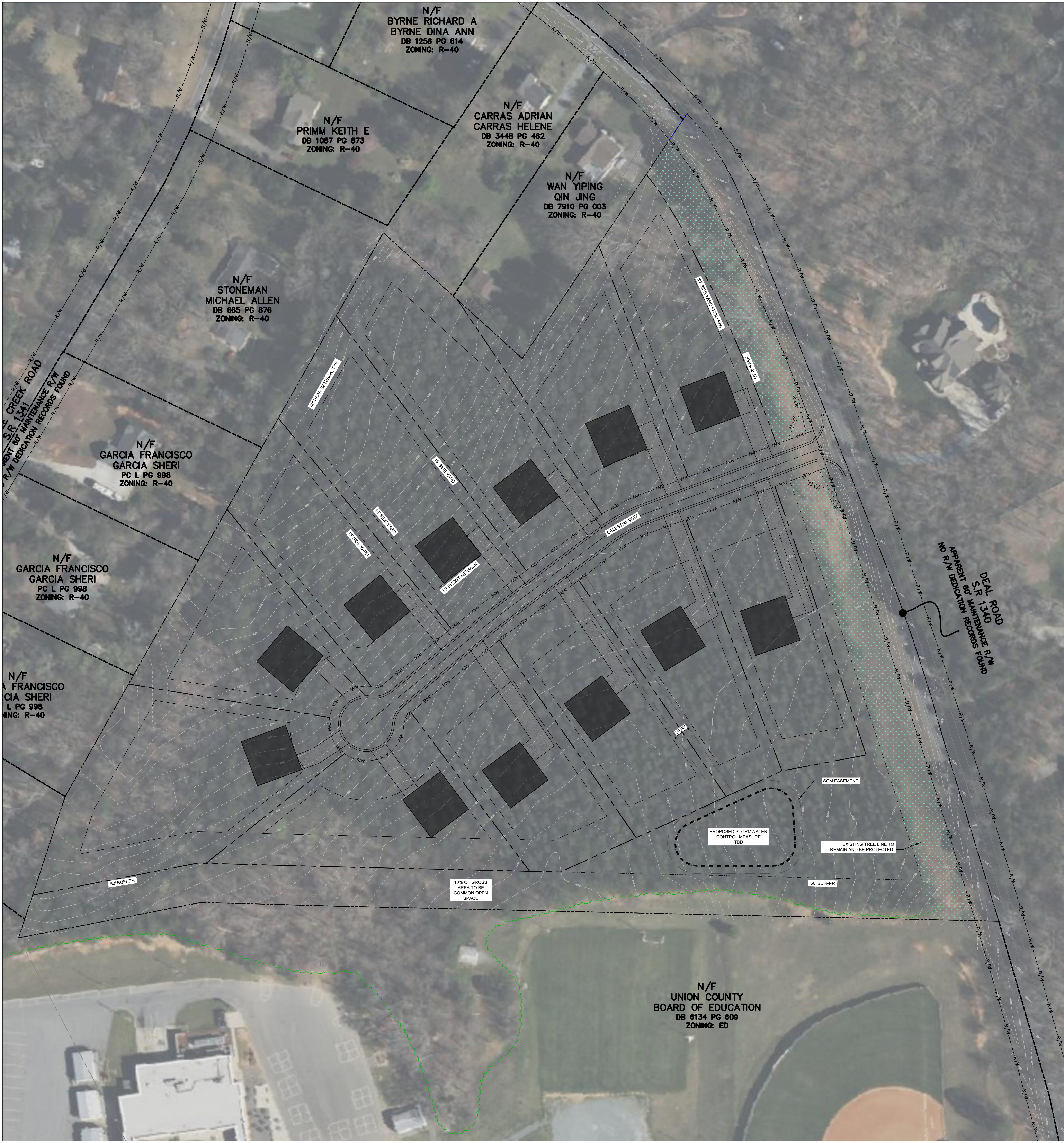
NO.	DATE	DESCRIPTION



SK-105

Sketch Plan

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
 2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LINCOLN COUNTY PUBLIC WORKS.



ZONING SUMMARY:

OWNER: KEYSTONE CUSTOM HOMES
OWNER PHONE #: (704) 286-8640
OWNER ADDRESS: 2030 AIRPORT FLEX DR SUITE R, CHARLOTTE, NC 28208

CIVIL ENGINEER/LANDSCAPE ARCHITECT: V3 SOUTHEAST, PC
V3 SOUTHEAST PHONE #: 704-940-2883

ZONING DESIGNATION: RCD
JURISDICTION: WEDDINGTON

PARCEL NUMBER(S): 06099010
PARCEL SIZE: 17.3 ACRES

MINIMUM LOT SIZE: 40,000 SF
TOTAL PARCELS CREATED: 12

SETBACK AND YARD REQUIREMENTS
FRONT: 50'-0"
SIDE: 15'-0"
REAR: 40'-0"

BUFFERS REQUIRED
 WHERE THE SIDE OR REAR YARDS OF LOTS MAY BE ORIENTED TOWARD EXISTING THOROUGHFARE ROADS, A BUFFER AT LEAST 100 FEET WIDE OF EXISTING WOODLAND PROVIDING ADEQUATE VISUAL SCREENING THROUGHOUT THE YEAR IS REQUIRED. THE BUFFER WIDTH MAY BE REDUCED TO 50 FEET IF PLANTINGS ARE INSTALLED TO INCLUDE YEAR-ROUND SCREENING.

THE BUFFER REQUIREMENT IS 50 FEET BETWEEN HOMES IN THE PROPOSED SUBDIVISION AND ANY NONRESIDENTIAL USE.

OPEN SPACE REQUIREMENTS
OPEN SPACE REQUIRED: 10% OF THE SUBDIVISION GROSS AREA MUST BE OPEN SPACE
MINIMUM PUBLIC OPEN SPACE: 1.616 AC
OPEN SPACE PROVIDED: 2.27 AC



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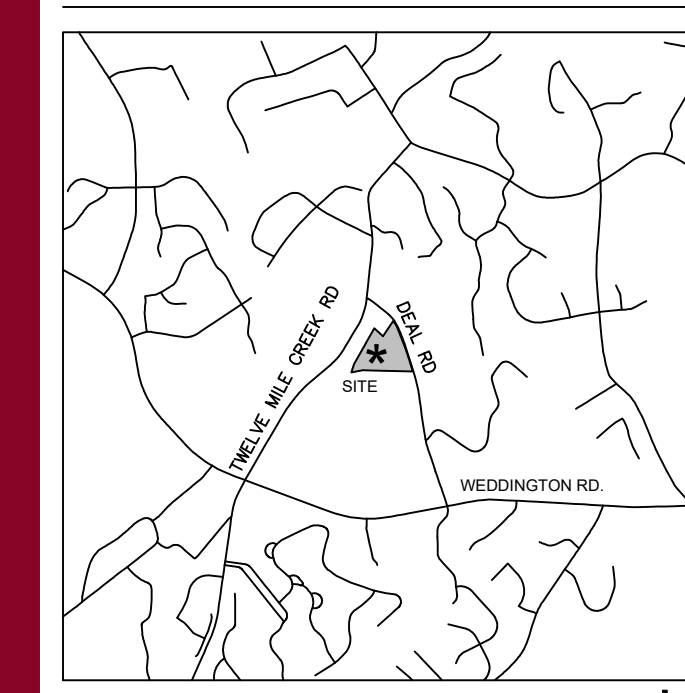
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Keystone Custom Homes

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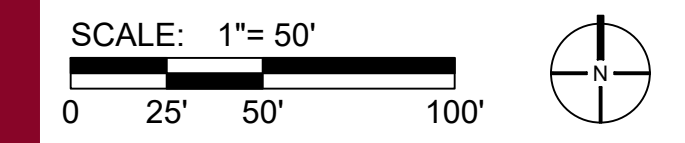
Elysian at Weddington

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DATE: 09.05.24
 DRAWN BY: KVN
 PROJECT NUMBER: 240110.01

PM: MDM
 REVIEWED BY: MDM

ELYSIAN AT WEDDINGTON SKETCH PLAN

REVISIONS:

NO.	DESCRIPTION	DATE



1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
 2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNCLE COUNTY PUBLIC WORKS.

SK-200

Sketch Plan



MEMORANDUM

TO: Planning Board
FROM: Gregory Gordos, Town Planner
DATE: September 23, 2024
SUBJECT: Discussion and Recommendation on a Text Amendment to Section D-917A(O)(1) Buffering Thoroughfares, of the Town of Weddington Unified Development Ordinance

BACKGROUND:

At its meeting of September 9, 2024, the Town Council, as a part of a discussions regarding changes to the Unified Development Ordinance, requested staff to prepare an amendment modifying the requirements buffering residential development from adjacent properties to a greater degree than those currently existing in code. Specifically, Section D-917A(O) allows a developer to choose between two options (“buffers”) when proposing a new development along an existing roadway. The intention is to provide screening, at developer expense, between new construction and the road with visual screening: trees and evergreens.

A buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required. The buffer width may be reduced to 50 feet if plantings are installed to include year-round screening.

While codified as a choice, developers are currently advised that only a 100 foot wide buffer will be accepted under conditional zoning consideration by Town Council. 50 foot screening is discouraged at application.

PROPOSAL:

To provide clarity to Planning staff and applicants, reference to “50 feet” would be removed from subsection O. Buffering in the Unified Development Ordinance.

Reference to earthen berms would also be removed, as they have been applied previously (and recently) to other residential subdivisions constructed in the Town of Weddington.

The Planning Board may either accept, deny, or accept with revisions the proposal as requested.

OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

O. Buffering.

1. Buffering Thoroughfares.

- a. Residential developments shall be designed so that lots face toward either internal subdivision streets or toward existing state roads across Conservation Land such as "foreground meadows."
- b. Where the side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required. ~~The buffer width may be reduced to 50 feet if plantings are installed to include year-round screening.~~
- c. ~~Earthen berms are not a permitted design approach as they are inherently nonrural and would inappropriately alter the rural character, even if landscaped.~~
- d. ~~c.~~ If the required buffer exceeds 15 percent of the total acreage of the parcel, the Administrator may reduce the required buffer to an amount equal to 15 percent, provided that sufficient evergreens are planted to create an effective visual buffer, as described above.

2. Buffering Other Uses. The buffer requirement is 50 feet between homes in the proposed subdivision and any nonresidential use. Section D-918.I (Screening and Landscaping) lists the required plantings of trees and shrubs within buffers and the standards for planting.

Staff offers the modification above the Planning Board's consideration and recommendation. For ease of reference, new text is referenced in red/underlined font, while deletions are referenced in ~~striketrough~~ font.

LAND USE PLAN CONSISTENCY:

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

RECOMMENDATION:

Staff recommends approval of the proposed text amendment solely for the purpose of consistency.

Attachments:

- none



MEMORANDUM

TO: Planning Board
FROM: Gregory Gordos, Town Planner
DATE: September 23, 2024
SUBJECT: Discussion and Recommendation on a Text Amendment to Section D-607 Weddington Specific Process Steps for Legislative Decisions., of the Town of Weddington Unified Development Ordinance

BACKGROUND:

At its meeting of September 9, 2024, the Town Council, as a part of a discussions regarding changes to the Unified Development Ordinance, requested staff to prepare an amendment modifying the requirements of applicants who propose a conditional zoning amendment. A Conditional Zoning Application form is required in order to process any conditional zoning project such as a major subdivision (>6 units) or any nonresidential development. On Page 2 of 3 of this application, it states the following:

The Zoning Administrator shall present any properly completed application to the Planning Board at its next regularly scheduled meeting occurring at least 15 days after the application has been deemed complete and ready for submission to the Planning Board. The Planning Board, by majority vote, may shorten or waive the time provided for receipt for a completed application.

The Town of Weddington Planning Board expects a full agenda, staff report, and materials packet for consideration at least five days in advance of the meeting date in order to review the information presented by the Town Planner. The Town Planner requires additional days to prepare the staff report and ensure the submitted materials are finalized. While the 15 days required in the application is intended to assist staff with enough time to create a thorough and complete staff report, the 15 days has also become an expectation of Weddington citizens in preparing to attend Planning Board meetings and knowing what items will be presented well in advance of the meeting date.

PROPOSAL:

To codify the existing policy (as found in the Conditional Zoning Application) into the Town of Weddington Unified Development Ordinance, so that it can be enforced as code compliance. Both elected officials and their constituents have expressed concern over 'last minute' additions to the meeting agenda. Conditional zoning has eleven steps as found in Section D-607 Weddington Specific Process Steps for Legislative Decisions. Identical text from the application form would be inserted into the UDO.

OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

C. Conditional Zoning.

6. *Staff Review and Report.* Staff shall review the site plan and all relevant information and prepare a report. ~~The Zoning Administrator shall present any properly completed application to the Planning Board at its next regularly scheduled meeting occurring at least 15 days after the application has been deemed complete and ready for submission to the Planning Board.~~

Staff offers the modification above the Planning Board's consideration and recommendation. For ease of reference, new text is referenced in red/underlined font, while deletions are referenced in ~~striketrough~~ font.

LAND USE PLAN CONSISTENCY:

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

RECOMMENDATION:

Staff recommends approval of the proposed text amendment. Methods of determining "completeness" are subject to discussion by members of the Planning Board and include steps as found in Section D-607(C).

Attachments:

- Copy of UDO Section D-607(C).

- F. The Administrator shall certify that the requirements of subsections (a)—(d) of this section have been met. The Town shall charge the applicant a separate fee to cover costs incurred.

Section D-603. Citizen Comments and Input (Public Hearing Before Council). If any resident or property owner in the Town submits a written statement regarding a proposed amendment, modification, or repeal to a zoning regulation, including a text or map amendment, to the Town Clerk at least two business days prior to the proposed vote on such change, the Town Clerk shall deliver such written statement to the Town Council. If the proposed change is the subject of a quasi-judicial proceeding under G.S. 160D-705 or any other statute, the Town Clerk shall provide only the names and addresses of the individuals providing written comment, and the provision of such names and addresses to all members of the board shall not disqualify any member of the board from voting.

Section D-604. Planning Board Review and Comment. All proposed amendments to this UDO or zoning map (specifically including any CZ rezoning) shall be submitted to the Planning board for review and comment. If no written report is received from the planning board within 30 days of referral of the amendment to the Planning Board, the Town Council may act on the amendment without the planning board report. The Town Council is not bound by the recommendations, if any, of the Planning Board.

Section D-605. Governing Board Statement.

- A. **Plan Consistency.** When adopting or rejecting any zoning text or map amendment, the Town Council shall approve a brief statement describing whether its action is consistent or inconsistent with an adopted comprehensive plan. The requirement for a plan consistency statement may also be met by a clear indication in the minutes of the Town Council that at the time of action on the amendment the Town Council was aware of and considered the planning board's recommendations and any relevant portions of an adopted comprehensive plan. If a zoning map amendment is adopted and the action was deemed inconsistent with the adopted plan, the zoning amendment shall have the effect of also amending any future land-use map in the approved plan, and no additional request or application for a plan amendment shall be required. A plan amendment and a zoning amendment may be considered concurrently. The plan consistency statement is not subject to judicial review. If a zoning map amendment qualifies as a "large-scale rezoning" under G.S. 160D-602(b), the Town Council statement describing plan consistency may address the overall rezoning and describe how the analysis and policies in the relevant adopted plans were considered in the action taken.
- B. **Additional Reasonableness Statement for Rezoning.** When adopting or rejecting any petition for a zoning map amendment, a statement analyzing the reasonableness of the proposed rezoning shall be approved by the Town Council. This statement of reasonableness may consider, among other factors, (i) the size, physical conditions, and other attributes of the area proposed to be rezoned, (ii) the benefits and detriments to the landowners, the neighbors, and the surrounding community, (iii) the relationship between the current actual and permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendment; (iv) why the action taken is in the public interest; and (v) any changed conditions warranting the amendment. If a zoning map amendment qualifies as a "large-scale rezoning" under G.S. 160D-602(b), the Town Council statement on reasonableness may address the overall rezoning.
- C. **Single Statement Permissible.** The statement of reasonableness and the plan consistency statement required by this section may be approved as a single statement.

Section D-606. Voting Majority Vote Sufficient on First Reading. A legislative decision for development regulation on a matter for which there has been a public hearing as set forth herein is permitted on first reading by simple majority vote. There is no need for two-thirds majority on first reading, as was required for cities under prior law.

Section D-607 Weddington Specific Process Steps for Legislative Decisions. The specific process steps for the various legislative decisions contemplated by this UDO are as follows:

- A. **Text Amendment to this UDO.**

1. *Application.* See Appendix 2.
2. *Staff Review.* Staff reviews a requested text amendment and all relevant information. Staff then typically prepares a written report and provide any recommendations to the Planning Board and Town Council.
3. *Planning Board Review and Recommendation.* The Planning Board shall review a requested text amendment and make a recommendation to Town Council. Upon making a recommendation, the planning board shall advise and comment on whether the proposed amendment is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the Town Council that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the Town Council.
4. *Public Hearing* (after notice as provided above; including citizen comment as noted above).
5. *Council Decision.* Decisions regarding text amendments are legislative decisions. The Town Council shall have the authority to:
 - a. Adopt proposed text amendment as written;
 - b. Adopt the proposed amendment as revised by the Planning Board or Town Council; or
 - c. Reject the proposed text amendment.

B. Zoning Map Change (that is not a conditional zoning request)

1. *Application.* See Appendix 2.
2. *Staff Review.* Staff reviews a requested zoning map change and additional relevant information such as the land plan. Staff then typically prepares a written report and provide any recommendations to the Planning Board and Town Council.
3. *Planning Board Review and Recommendation.* The Planning Board shall review a requested zoning map change and make a recommendation to Town Council. Upon making a recommendation, the planning board shall advise and comment on whether the proposed amendment is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the Town Council that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the Town Council.
4. *Public Hearing* (after notice as provided above; including citizen comment as noted above).
5. *Council Decision.* Decisions regarding zoning map changes are legislative decisions. The Town Council shall have the authority to:
 - a. Adopt proposed zoning map amendment as presented; or
 - b. Reject the proposed zoning map amendment

C. Conditional Rezoning.

1. *Preapplication Meeting (required for conservation residential development only).* Any person contemplating a conditional rezoning is strongly encouraged to have a preapplication meeting with the Administrator in order that questions may be answered, and that the applicant may gain a better understanding of the requirements of this UDO. A preapplication meeting is required for conservation residential developments.
2. *Existing Resource/Site Analysis Plan and Yield Plan (conservation residential development only).* The following information shall be submitted for all proposed conservation residential developments:
 - a. Existing resources and site analysis plan, which shall be prepared to provide the developer and the Town with a comprehensive analysis of existing conditions, both on the proposed development site and within 500 feet of the site (for tracts of 100 acres or less) or 1,000 feet of the site (for tracts over 100 acres).

- b. A yield plan designed to be density neutral (i.e., allow for the same number of lots as could be platted under applicable subdivision requirements as a conventional subdivision, with a minimum lot size of 40,000 square feet). Yield plans must show all proposed lots, streets, rights-of-way, and other pertinent features that would be required for a sketch plan for major conventional subdivisions as identified in Appendix 2. Although the yield plan must be drawn to scale, it need not be based on a field survey. However, the yield plan must be a realistic layout reflecting a development pattern that could reasonably be expected to be implemented, considering the presence of wetlands, floodplains, steep slopes, existing easements or encumbrances and, if unsewered, the suitability of soils for subsurface sewage disposal.
3. *On Site Visit and Charette Process (Conservation Residential Development Only).*
 - a. *On-Site Visit/Charrette.* After preparing the existing resources and site analysis map and prior to the submission of the site plan, the Applicant shall schedule time to walk the property with the Administrator, Planning Board members, and adjacent property owners. The purpose of this visit is to familiarize staff and Planning Board members with the property's special features, and to provide them an informal opportunity to offer guidance to the applicant regarding the tentative location of secondary conservation areas, potential house locations and street alignments. A notice giving the date, time and purpose of the meeting shall be sent by the Town to adjacent property owners at least ten days prior to the site walk. The Applicant shall distribute copies of the existing resources and site analysis plan at the on-site meeting. Applicants, their site designers, and the landowner shall participate to show the Town the property's special features. Comments made by town officials or staff and consultants shall be interpreted as being only suggestive and advisory. It shall be understood by all parties that no formal recommendations can be offered, and no official decisions can be made during this on-site visit. It is a work session of the Planning Board and is duly noticed in the standard manner for all public meetings.
 - b. *Design Charrette.* Immediately following the site visit the applicant shall sit down with the Administrator and on-site visit attendees to review the findings and begin the four-step process below. Sketch plans shall be prepared as "overlay sheets" to be lain on top of the existing resources and site analysis plan, both prepared at the same scale, to facilitate cross-comparison.
 - i. *Step One: Designation of Conservation Lands.* During the first step, all potential conservation areas, both primary and secondary, shall be identified, using the existing features/site analysis map. Primary conservation areas shall consist of those features described in section D-901(c)(20). Secondary conservation areas shall comprise at least half of the remaining land and shall include the most sensitive and noteworthy natural, scenic, and cultural resources as described in section D-901(c)(20). Guidance as to which parts of the remaining land to classify secondary conservation areas shall be based upon discussions at the on-site meeting plus the design standards and specific conservation standards in section D-901(c)(20). An overall goal is to minimize fragmentation of the conservation lands and to maximize connectivity among its parts, and with conservation lands on adjoining properties.
 - ii. *Step Two: House Site Location.* During the second step, potential house sites are tentatively located. Generally, house sites should be located no closer than 100 feet from primary conservation areas. Such sites may be situated 50 feet from secondary conservation areas to permit the enjoyment of scenic views without negatively impacting primary conservation areas.
 - iii. *Step Three: Street Alignment and Trail Networks.* The third step consists of aligning proposed streets to provide vehicular access to each house in the most reasonable and economical manner, and in laying out a network of informal trails connecting neighborhood areas with open space features within the conservation lands. When lots and access streets are laid out, they shall be located in such a way that avoids or at least minimizes impacts on both primary and secondary conservation areas.
 - iv. *Step Four: Drawing in the Lot Lines.* The fourth step consists of drawing in lot lines around potential house sites. Each lot must contain a buildable area of sufficient size to accommodate a single-family detached dwelling and customary accessory uses, including, but not limited to, storage buildings and garages, patios and decks, lawns, and driveways. Individual wells and septic systems, where these are to be provided, may be located within the undivided conservation lands if sufficient space is not available on the lots.
 4. *Application, Including Site Plan.* See Appendix 2 for requirements.
 5. *Community Meeting.*

- a. Before the Planning Board review, the applicant must provide the Administrator with a written report of at least one community meeting held by the applicant. Additional community meetings shall be required if a Major Change is made to the proposed site plan by the applicant as a result of the first community meeting. A Major Change is defined as items 11.b.ii. (1)-(6) as provided in this Section.
 - b. Reasonable notice of the required community meeting must be given to nearby property owners and to affected and interested parties in accordance with public notice policies. Such notice shall, at a minimum, be given as follows:
 - i. A notice shall be sent by first class mail by the Town to adjacent property owners within 1,300 linear feet, as measured from the exterior boundaries of the proposed development up to the Town limits, not less than ten days prior to the date of the meeting. The notification shall contain information regarding the meeting time and locations as well as a general description of the proposal. The applicant shall reimburse the Town for all expenses incurred for such notifications.
 - ii. A meeting notification sign shall be posted by the Town in a conspicuous place at the property not less than ten days prior to the meeting.
 - c. The Applicant's report to the staff, which shall be included in the planning board report, shall include a listing of persons and organizations contacted about the meeting, a roster of the persons in attendance at the meeting, a summary of issues discussed at the meeting, and a description of any changes to the application made by the applicant as a result of the meeting.
 - d. The adequacy of the report must be considered by the Planning Board but is not subject to judicial review. The Town Zoning Administrator shall have the authority to determine if a community meeting was insufficient towards meeting these requirements prior to placing the item on the Planning Board agenda for review and recommendation. If deemed insufficient, the applicant shall be notified in writing of these findings and a second community meeting shall be required at the expense of the applicant, including notification of adjacent property owners within 1,300 linear feet and the scheduling of a new meeting date and time with adequate notice.
6. *Council Presentation and Public Comment.* This is the second opportunity for public input and will be during a regularly scheduled Town Council Meeting. Once the petition is complete, a community meeting has been held, the CZ request has been submitted and the public has an opportunity to provide comment at a Town Council meeting and completion and approval of a Traffic Impact Analysis, the CZ application process follows the review process in Section D-803(A)1(a).
7. *Staff Review and Report.* Staff shall review the site plan and all relevant information and prepare a report.
8. *Planning Board Review and Recommendation.* The Planning Board shall review a requested zoning map change and make a recommendation to Town Council. Upon making a recommendation, the planning board shall advise and comment on whether the proposed amendment is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the Town Council that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the Town Council.
9. *Public Hearing Before Council (after notice as provided above; including citizen comment as noted above).*
10. *Council Decision.*
 - a. Conditional zoning district decisions are a legislative process. Conditional zoning district decisions shall take into account applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances.
 - b. A statement analyzing the reasonableness of the proposed rezoning shall be prepared for each application for a rezoning to a conditional district and evaluated by the Town Council.
 - c. The Town Council shall have the authority to:
 - i. Approve the application as submitted.
 - ii. Deny approval of the application.

- iii. Approve the application with modifications that are agreed to by the applicant; or
 - iv. Submit the application to the Planning Board for further study. The application may be resubmitted to the Planning Board with any modifications that are agreed to by the applicant. The Planning Board shall have up to 30 days from the date of such submission to make a report to the Town Council. Once the Planning Board issues its report, or if no report is issued within that time period, the Town Council can take action on the application in accordance with this subsection.
 - d. In the Town Council's sole discretion, it may hold additional public hearings on an application at any time before it takes a final vote to approve or deny that application.
 - e. In approving an application for the reclassification of a piece of property to a conditional zoning district, the planning board may recommend, and the Town Council may request that reasonable and appropriate conditions be attached to approval of the application. Any such conditions may relate to the relationship of the proposed use to the surrounding property, to proposed support facilities (e.g., parking areas, pedestrian circulation systems), to screening and landscaping, to the timing of development, to street and right-of-way improvements, to water and sewer improvements, to provision of open space, or to any other matters that the planning board or Town Council may find appropriate or the applicant may propose. Such conditions to approval may include dedication of right-of-way or easements for streets and/or utilities to serve the development. The applicant shall have a reasonable opportunity to consider and respond to any such proposed conditions prior to final action by the Town Council.
11. *Amendment Procedures for Approved Conditional Districts.*
- a. Changes to an Approved Conditional Zoning. Except as provided in Subsection B. below (Administrative Amendment Process for Minor Changes), changes to an approved Conditional Zoning or to the conditions attached to it shall be treated the same as amendments to these regulations or to the zoning maps and shall be processed as a legislative decision in accordance with the procedures in this UDO.
 - b. Administrative Amendment Process for Minor Changes
 - i. Application for an Administrative Amendment. Any request for an administrative amendment shall be pursuant to a written letter, signed by the property owner, to the planning staff detailing the requested change. Upon request, the Applicant must provide any additional information requested. Accompanying the letter shall be the applicable fee for administrative review.
 - ii. Authority to Approve an Administrative Amendment. The Administrator shall have the delegated authority to approve an administrative amendment change to an approved Conditional Zoning. The standard for approving or denying such a requested change shall be that the change does not significantly alter the Zoning Plan or its conditions and that the change does not have a significant impact on abutting properties. Significant changes to an approved Zoning Plan that cannot be considered through an administrative amendment include the following:
 - (1) Increasing the number of buildings (specifically including residential dwelling units);
 - (2) Adding driveways to thoroughfares.
 - (3) Reducing parking spaces below the minimum standards.
 - (4) Reducing the area or intensity of landscaped or screening buffers or yards.
 - (5) Reducing required open space.
 - (6) Increasing the total number of subdivided lots.
 - iii. The Administrator shall always have the discretion to decline to exercise the delegated authority either because the Administrator is uncertain about approval of the change pursuant to the standard or because a rezoning petition for a public hearing and Town Council consideration is deemed more appropriate under the circumstances. If the Administrator declines to exercise this authority, the Applicant must file a rezoning petition for conditional zoning approval I in accordance with the procedures set forth herein.

Section D-6o8. Weddington Specific Process Steps for Quasi-Judicial Decisions.